

City of Dayton
Economic Development Authority (EDA)
June 17, 2025
7:30 a.m.

7:30 1. **Call to Order**

The EDA consists of seven members, including two City Councilmembers and five members of the Dayton business community or residents of the City of Dayton with business and/or economic development expertise, each with an interest in promoting the economic growth and development of the City of Dayton. The EDA shall have all the powers, duties, and responsibilities set forth in Minnesota Statutes §469.090 to §469.1081.

7:30 2. **Approval of the Agenda**

7:30 3. **Consent Agenda**

- A. Approval of Minutes, May 20, 2025
- B. EDA Treasurer's Report
- C. Summary of Non-Residential inquiries

7:30 4. **Open Forum**

Time is limited to 3 minutes. No EDA Action will be taken. However, direction can be given to staff for future meetings.

7:30 5. **Old Business**

- A. Flower Pot sponsorships
- B. Damaged/Abandoned Utility Boxes
- C. Sidewalk Repairs in Old Village
- D. Dayton Legislative Bills Status Update
- E. Railroad Spur
- F. Discussion – Lent Property Concept Plan
- G. Discussion – EDA Mission Statement

6. **New Business**

- 8:30 A. Telcom; Concept Plan
- 8:35 B. Scannell; Preliminary Plat, Site Plan
- 8:40 ~~C. 2026 EDA Budget~~

7. **Staff & Board Updates** (verbal)

- 8:45 A. Staff Updates
- 8:50 B. EDA Member Updates

8:50 8. **Closed Session**

Pursuant to MN Statute 13D.05, Subd 3(c)(3), a closed session shall be conducted to develop or consider offers or counteroffers for the purchase or sale of real or personal property located at: 18771 Robinson St, Dayton, MN 55327, PID: 36-121-23-41-0020.

The next EDA meeting will be on Tuesday, July 15, 2025, at 7:30 am

9:00 10. **Adjourn**

EDA MISSION STATEMENT: The Dayton EDA drives targeted growth through business attraction, retention, and strategic redevelopment. We prioritize projects that align with infrastructure, land use, and long-term fiscal health. Our mission is to build a resilient, competitive, and livable city.



CITY OF DAYTON
ECONOMIC DEVELOPMENT STRATEGY PLAN (2022)
GOALS:

1. Strengthen the Local Tax Base
 2. Encourage Public/Private Partnerships to construct public infrastructure to support quality development
 3. Foster Employment growth with strong wage opportunities through attraction of new businesses and expansion of existing businesses
 4. Ensure city processes are business friendly and do not create barriers to development
 5. Promote the growth of a “City Center” located [at] Territorial Road and Holly Lane Area
 6. Explore preservation, reinvestment, and redevelopment possibilities within the Historic Village
 7. Provide greater clarity around when and how to use City Assistance for projects
 8. Strengthen quality of life within Dayton through enhancement of recreational opportunities
 9. Use Economic Development resources to promote a full range of housing choices within Dayton
-

**MINUTES OF THE MAY 20, 2025
ECONOMIC DEVELOPMENT AUTHORITY MEETING**

Call to Order

Chair Huttner called the EDA meeting to order at 7:30 AM on May 20, 2025.

Huttner recognized Peralta for his years of service on the EDA and acknowledged that Peralta was no longer part of the group due to new employment.

Huttner proposed creating an official policy for intake and exit letters for anyone who joins or leaves the group. The board discussed and agreed to implement this policy.

Anderson made a motion to implement the policy for intake and exit letters.

Luther seconded. The motion passed unanimously.

Roll Call

Present: Anderson, Fashant, Huttner, Luther, Salonek

Absent: Bernens, Peralta (Submitted resignation prior to meeting)

Also, in attendance: Jon Sevald, Community Development Director; Hayden Stensgard, Associate Planner II; Zach Doud, City Administrator/Finance Director; City Engineers, Jason Quisberg and Sarah Harding; Amanda Johnson, EDA Attorney; Zach Synstegaard, IAG representative

Approval of the Agenda

Huttner added the Railroad Spur discussion to Old Business for future meetings. Huttner repeated covering the intake and exit papers for all commissioners as discussed in the Call to Order.

Salonek made a motion to approve the amended agenda. Luther seconded. The motion passed unanimously.

Consent Agenda

A. Approval of Minutes, April 15, 2025

B. EDA Treasurer's Report

C. Summary of Non-Residential inquiries

Fashant made a motion to approve the consent agenda. Luther seconded. The motion passed unanimously.

Huttner asked Anderson if he would be the Interim Treasurer to replace Peralta. Anderson accepted.

Fashant questioned the interest on the spending report. Sevald stated Doud would be able to answer the question later.

Open Forum

John Williams, a resident at 13620 North Diamond Lake Road, addressed the board regarding a proposed bike path that would affect his property. Williams expressed concerns about the impact on his existing parking capacity and sought information

about possible redevelopment options. Quisberg provided an update on the project's status, mentioning that an alternate alignment was being explored and that there were issues with land right acquisitions. Quisberg offered to discuss the details further with Williams after the meeting.

Old Business

A. Flower Pot sponsorships

Sevald reported that three flower pots were still available for sponsorship at \$125 each. The board discussed filling the remaining sponsorships and decided to keep them open to the public until the June meeting, after which board members would purchase any remaining pots.

B. Damaged/Abandoned Utility Boxes

Sevald reported the possibility of forwarding to council for a Stantec intern to start the process. The board discussed the issue of damaged and abandoned utility boxes throughout the city.

Anderson made a motion to transfer the issue of damaged and abandoned utility boxes to the city council's agenda. Luther seconded. The motion passed unanimously.

C. Sidewalk Repairs in Old Village

Sevald shared two examples of sidewalks that have not received complaints. The board discussed sidewalk repairs in the Old Village area, including issues with Hennepin County-owned sidewalks.

Anderson made a motion to elevate the sidewalk repair issue to the city council. Luther seconded. The motion passed unanimously.

D. Dayton Legislative Bills Status Update

Stensgard provided an update on the status of Dayton's legislative bills, noting that no language had been included in omnibus bills related to the City's requests. The board discussed the ongoing budget discussions at the state level and the potential for a special session.

New Business

A. Discussion – Lent Property Concept Plan

Sarah Harding from Stantec presented three conceptual ideas for the Lent property and surrounding area. The concepts included options for event venues, outfitter and brewery spaces, and flexible use areas.

The board discussed the various options, considering factors such as seasonal use, flood plain issues, and potential partnerships with neighboring communities. They decided to put the project on hold until more information about funding becomes available.

B. Discussion – Marketing of Tax Forfeit property

This item was moved to the closed session.

C. Discussion – EDA Mission Statement

The board discussed updating the EDA's mission statement. They agreed to table the discussion for the next meeting to allow more time for consideration and suggestions.

Fashant made a motion to table the discussion on updating the EDA mission statement. Anderson seconded. The motion passed unanimously.

Staff & Board Updates (verbal)

Sevald provided several updates, including:

- The decision to continue advertising the EDA's programs in the Dayton Communicator rather than sending out postcards.
- The upcoming Dayton-wide garage sale on the first weekend in June.
- A moratorium adopted by the council on development in the 113th Avenue Industrial Park area until October.
- A vacancy on the Planning Commission and the upcoming vacancy on the EDA due to Juan's resignation.

Closed Session

Huttner announced that the EDA would enter into a closed session pursuant to Minnesota statute 13 D .05 subsection 3(c) (3) to develop and/or consider offers or counter offers for the purchase or sale of real estate property located at: 18771 Robinson St, MN 55327, PID: 36- 121-23-41-0020.

Adjourn

The next EDA meeting was scheduled for Tuesday, June 17, 2025, at 7:30 AM.

Anderson made a motion to adjourn the meeting. Fashant seconded. The motion passed unanimously.

The meeting adjourned at 9:23 AM.

Respectfully submitted,
Jon Sevald, Community Development Director

06/13/2025 11:05 AM
User: DBRUNETTE
DB: Dayton

ACCOUNT BALANCE HISTORY REPORT FOR DAYTON MN

Page: 1/1

Month Ended: May

		BALANCE AS OF 05/31/2025
GL NUMBER	DESCRIPTION	
<hr/>		
Fund 225 - EDA		
Assets		
225-00000-10100	Cash	530,881.69
225-00000-10450	Interest Receivable	0.00
225-00000-10500	Taxes Receivable - Current	0.00
225-00000-11500	Accounts Receivable	200.00
225-00000-15000	Due from Other Funds	0.00
TOTAL ASSETS		<hr/> 531,081.69
Liabilities		
225-00000-20200	Accounts Payable	0.00
TOTAL LIABILITIES		<hr/> 0.00
Fund Equity		
225-00000-25300	Unreserved Fund Balance	676,056.18
TOTAL FUND EQUITY		<hr/> 676,056.18
Revenues		
225-40100-31012	EDA Property Tax Levy	0.00
225-40700-36210	Interest Earnings	12,270.29
225-40700-39000	Other Financing Sources	125.00
225-40700-39101	Sales of General Fixed Assets	0.00
TOTAL REVENUES		<hr/> 12,395.29
Expenditures		
225-41710-50210	Operating Supplies	0.00
225-41710-50300	Professional Svcs	13,474.40
225-41710-50308	Contract Services	0.00
225-41710-50370	Property Tax Payments	652.50
225-41710-50430	Miscellaneous	0.00
225-41710-50510	Land	143,242.88
TOTAL EXPENDITURES		<hr/> 157,369.78
Total Fund 225 - EDA		
TOTAL ASSETS		<hr/> 531,081.69
BEG. FUND BALANCE		676,056.18
+ NET OF REVENUES & EXPENDITURES		(144,974.49)
= ENDING FUND BALANCE		531,081.69
+ LIABILITIES		0.00
= TOTAL LIABILITIES AND FUND BALANCE		<hr/> 531,081.69

April 2025 inquireis to city regarding non-residential development. Projects are "Anonymous" until a Land Use Application is submitted. Significant projects are color-coded to identify conversation strings.

DATE	CATEGORY	DESCRIPTION	FACITLIY	JOBS	INVESTMENT	STATUS
5/1/2025	Industrial	Subdivision	Spec Industrial	?	\$ 12,600,000	Dayton Interchange. Preliminary Plat, Site Plan, TIF.
5/1/2025	Mixed Use	Subdivision	-	?	?	Dayton Creek Addition. Final Plat
5/1/2025	Industrial	Subdivsion	Contractors Yard	80	?	Telcom. Concept Plan.
5/1/2025	Industrial	Existing	Manufacturing	?	?	Cubes. Information provied.
5/2/2025	Industrial	Subdivision	Contractors Yard	80	?	Telcom. Concept Plan
5/2/2025	Industrial	RFI	Manufacturing			Mn DEED RFI. Information provided
5/2/2025	Industrial	Existing	Transfer Station	?	?	Curbside. EAW
5/5/2025	Commercial	Subdivision	Convience Store	?	?	Anonomous. Concept Plan.
5/5/2025	Industrial	Subdivision	Spec Industrial	?	\$ 12,600,000	Dayton Interchange. Preliminary Plat, Site Plan, TIF.
5/6/2025	Industrial	Subdivision	Spec Industrial	?	\$ 12,600,000	Dayton Interchange. Preliminary Plat, Site Plan, TIF.
5/7/2025	Industrial	Existing	Manufacturing	?	?	Cubes. Information provied.
5/7/2025	Industrial	Existing	Transfer Station	?	?	Curbside. EAW
5/7/2025	Industrial	Subdivision	Spec Industrial	?	\$ 12,600,000	Dayton Interchange. Preliminary Plat, Site Plan, TIF.
5/8/2025	Commercial	Subdivision	Convience Store	?	?	Anonomous. Concept Plan.
5/8/2025	Industrial	Existing	Transfer Station	?	?	Curbside. EAW
5/9/2025	Mixed Use	Subdivision	-	?	?	Dayton Creek Addition. Final Plat
5/9/2025	Industrial	RFI	Manufacturing	?	?	Mn DEED RFI. Facilities not available.
5/12/2025	Mixed Use	Moratorium	Mixed Use	?	?	Moratorium. Information provided.
5/12/2025	Industrial	Existing	Manufacturing	?	?	Greater MSP RFI. Facilities not available
5/13/2025	Mixed Use	Subdivision	Mixed Use	?	?	Dayton Creek Addition. Final Plat
5/13/2025	Industrial	Existing	Transfer Station	?	?	Curbside. EAW
5/13/2025	Mixed Use	RFI	-	?	?	Information provided.
5/14/2025	Mixed Use	Moratorium	Mixed Use	?	?	Information provided.
5/14/2025	Mixed Use	Subdivision	Mixed Use	?	?	Dayton Creek Addition. Final Plat
5/14/2025	Industrial	Existing	Manufacturing	340	\$ 24,000,000	States Manufacturing. Mn DEED report.
5/14/2025	-	-	-	-	-	Elevate Hennepin.
5/14/2025	-	-	-	-	-	Anonomous. Discuss future land use.
5/15/2025	-	-	-	-	-	Anonomous. Discuss future land use.
5/15/2025	Industrial	Subdivision	Spec Industrial	?	\$ 12,600,000	Dayton Interchange. Preliminary Plat, Site Plan, TIF.
5/16/2025	Industrial	Subdivision	Spec Industrial	?	\$ 12,600,000	Dayton Interchange. Preliminary Plat, Site Plan, TIF.
5/19/2025	Recreation	Existing	Golf Course	?	?	Sundance Golf Course. Ongoing
5/19/2025	Industrial	Existing	Transfer Station	?	?	Curbside. EAW

April 2025 inquireis to city regarding non-residential development. Projects are "Anonymous" until a Land Use Application is submitted. Significant projects are color-coded to identify conversation strings.

5/19/2025	-	-	?	?	Anonymous. Discuss future land use.
5/21/2025	Industrial	Existing	Manufacturing	- \$ 24,000,000	States Manufacturing. Mn DEED report.
5/21/2025	Industrial	Subdivision	Spec Industrial	- -	Moratorium. Information provided.
5/21/2025	Industrial	Subdivision	Spec Industrial	- \$ 12,600,000	Dayton Interchange. Preliminary Plat, Site Plan, TIF.
5/22/2025	Industrial	Subdivision	Contractors Yard	80 ?	Telcom. Concept Plan
5/22/2025	-	-	-	-	Elevate Hennepin.
5/22/2025	Mixed Use	Subdivision	Mixed Use	? ?	Dayton Creek Addition. Final Plat
5/22/2025	Industrial	Subdivision	Spec Industrial	? \$ 12,600,000	Dayton Interchange. Preliminary Plat, Site Plan, TIF.
5/22/2025	Industrial	Existing	Transfer Station	? ?	Curbside. EAW
5/22/2025	Commercial	Subdivision	Convience Store	? ?	Anonymous. Concept Plan.
5/23/2025	Industrial	Existing	Manufacturing	50 ?	Greater MSP RFI. Facilities not available
5/23/2025	Industrial	Existing	Spec Industrial	? ?	Curbside. EAW
5/29/2025	Industrial	RFI	Manufacturing	? ?	Mn DEED RFI. Facilities not available.
5/30/2025	Industrial	RFI	Manufacturing	? ?	Greater MSP RFI. Facilities not available
5/30/2025	Industrial	Existing	Transfer Station	? ?	Curbside. EAW

ITEM:

Flower Pot Sponsorships

APPLICANT/PRESENTERS:

N/A

PREPARED BY:

Jon Sevald, Executive Director

BACKGROUND/OVERVIEW:

Since 2023, the EDA has offered the public the opportunity to sponsor a Flower Pot in Old Town. Sponsorships were reduced from \$200 to \$125 to encourage more public involvement (vs. businesses). Sponsorship opportunities are posted on the website, Dayton app, and Facebook. In the event there is a lack of sponsorships from the public, EDA members intend to sponsor remaining flower pots at the July EDA meeting.

	2023	2024	2025
1	Earl & Lucy Durant Family	Earl & Lucy Durant Family	Rick Durant
2	Dayton Wine & Spirits	Dayton Wine & Spirits	Dayton Wine & Spirits
3	The Knutson Family	Connie & Scott Salonek	The Maltzen Family
4	Bernie Kemp, Counselor Realty	Excel Roofing	Bernie Kemp, Counselor Realty
5	Huttner Automotive Repair	Huttner Automotive Repair	Senate District 34, DFL
6	King Solutions, Inc	Ziegler Rental	Huttner Automotive Repair
7	The Maltzen Family	Matt Trost	
8	The Red Tree Ranch – The Yancy Family	Matt Trost	

CRITICAL ISSUES:

None

RELATIONSHIP TO COUNCIL GOALS:*Maintain and Enhance the Natural and Rural Community Connection*

- *Provide and enhance public recreation space*
- *Promote Dayton's unique identity and community cohesion*

ROLE OF EDA:

No action required.

RECOMMENDATION:

None.

ATTACHMENT(S):

None

ITEM:

Damaged/Abandoned Utility Boxes

APPLICANT/PRESENTERS:

N/A

PREPARED BY:

Jon Sevald, Executive Director

BACKGROUND/OVERVIEW:

In 2024, the EDA expressed concerns about damaged and abandoned utility boxes in the right-of-way. In order to file a complaint with the Public Utilities Commission (PUC), the owner, location, and previous correspondence is needed. There are an estimated 2,000+ utility boxes and 52 eligible telecommunication providers in Dayton.

During the May 20, 2025 EDA meeting, the EDA directed Staff to bring forward to the City Council for action. Stantec is preparing cost estimates to inventory public/private assets in right-of-way. Utility boxes would be added to Stantec's annual video inventory of pavement conditions. After the inventory is taken and damaged utility boxes are identified, staff would inspect for ownership, and issue corrective orders. If non-compliant, the City can file a complaint with the PUC.

CRITICAL ISSUES:

None

RELATIONSHIP TO COUNCIL GOALS:

Build and Maintain Quality Infrastructure.

ROLE OF EDA:

None.

RECOMMENDATION:

None

ATTACHMENT(S):

None

ITEM:

Sidewalk Repairs in Old Village

APPLICANT/PRESENTERS:

N/A

PREPARED BY:

Jon Sevald, Executive Director

BACKGROUND/OVERVIEW:

In February 2025, the EDA voiced concerns about cracked sidewalks in the Old Village. ADA standards require 5' sidewalk widths, no more than ½" gap (crack), and ¼" change in level (one panel being higher than the other), along with curb ramps. Certain sections of sidewalks are non-compliant.

Public Works will grind down sidewalks that exceed ¼" elevation difference. Replacement of city sidewalks in the Village is in the 2031 CIP. Boulevard tree removal will be considered at that time. County sidewalks (CSAH 12) will be considered during road projects by Hennepin County. None are planned within the 2025-2029 Capital plan in the Old Village.

During the May 20, 2025 EDA meeting, the EDA directed this item be forwarded to the City Council for action. There is no update since the May 20th EDA meeting.

CRITICAL ISSUES:

None

RELATIONSHIP TO COUNCIL GOALS:

Build and Maintain Quality Infrastructure

- *Address public facilities to meet city's growth and needs*
- *Maintain quality local street system*

ROLE OF EDA:

No action required.

RECOMMENDATION:

None

ATTACHMENT(S):

Photos

ECONOMIC DEVELOPMENT AUTHORITY MEETING



18640 Robinson Street (April 10, 2025)



18380 Columbus Street (April 10, 2025)

ITEM:

Dayton Legislative Bills Status Update

PREPARED BY:

Hayden Stensgard, Planner II

BACKGROUND/OVERVIEW:

The following table describes the current status of the legislative bills introduced in both the House and Senate specific to the City of Dayton.

House and Senate File	Title	Status
SF0381/HF0311	Dayton Land Acquisition Appropriation (\$400,000)	Did not pass
SF0382/HF0315	Dayton Water Tower Bond Issue and Appropriation (\$3,000,000)	Did not pass
SF0383/HF0316	Dayton Roundabout Bond Issue and Appropriation (\$1,500,000 for Pineview Lane North and Dayton River Road)	Did not pass
SF0384/HF0314	Dayton Wellhead Treatment Facility Bond Issue and Appropriation (\$5,000,000)	Did not pass
SF0385/HF0313	Dayton Region Fire Training Facility Bond Issue and Appropriation (\$1,250,000)	Did not pass

The Minnesota Senate and House met in a special session on Monday, June 9, 2025. Collectively, 15 bills were passed by the bodies and submitted to the Governor's office for signatures. Unfortunately, none of the requests submitted by the City of Dayton were included in final drafts of the passed legislation during the special session. Few requests by individual cities or counties crossed the finish line this year. Likely the majority passed were limited to projects likely not supported in last year's legislative session. Unless the Governor vetoes any of the bills that include general funding for the state budget, it is unlikely another special session will be called this summer. The Legislature will reconvene in early 2026.

ATTACHMENT(S):

None

ITEM:

Discussion – Railroad Spur

APPLICANT/PRESENTERS:

Jon Sevald, Executive Director

PREPARED BY:

Jon Sevald, Executive Director

BACKGROUND/OVERVIEW:

In September 2024, the EDA expressed interest in having a railroad spur in Dayton to attract manufacturers. In 2024, Staff discussed with BNSF who suggested creating a [BNSF certified site](#). Typically includes 50-100+ acres. [Becker](#) (67-acres) is the only certified site in Minnesota. BNSF stated that users are typically heavy industrial. The Becker land is for sale, \$1.50 p/sf. This is significantly lower than land sales in Dayton.

Cemstone has land for a railroad spur for bulk deliveries. Staff discussed with Cemstone who indicated they did not have the demand to construct (2024). There is no update since January, 2024.

CRITICAL ISSUES:

Construction is dependent upon Cemstone's timeline.

RELATIONSHIP TO COUNCIL GOALS:

Encourage Diversity and Manage Thoughtful Development

- *Encourage healthy lifespan of both residential and commercial operations*
- *Healthy Commercial Sector with services and job growth*

ROLE OF THE EDA:

FYI

RECOMMENDATION:

None.

ATTACHMENT(S):

None.

ROBINSON STREET
STREETSCAPE ELEMENTS
TREES
LIGHTING
SIDEWALKS
PARALLEL PARKING

LOOP TRAIL

PEDESTRIAN WALKWAY

GATEWAY MONUMENT

BAXTER AVENUE
STREETSCAPE ELEMENTS
TREES
LIGHTING
SIDEWALKS
45 DEGREE PARKING

REGIONAL TRAIL
CONNECTION

- SINGLE FAMILY
RESIDENTIAL
- MEDIUM FAMILY
RESIDENTIAL
- COMMERCIAL
- INSTITUTIONAL
- HISTORIC BUILDINGS
- OPEN SPACE

MEDIUM DENSITY HOUSING
TOWNHOMES TYPICAL

VILLAGE SQUARE

HISTORIC VILLAGE
REDEVELOPMENT

HISTORIC MCNEIL PARK

PRESERVE VILLAGE CHARACTER
WITH STREET GRID & NEW
DEVELOPMENT

RIVER OVERLOOK

POTENTIAL PUBLIC PARK

HISTORIC VILLAGE FRAMEWORK PLAN

CITY OF DAYTON 2040 PLAN

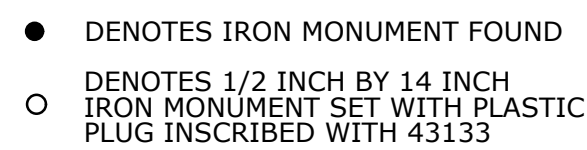
THE CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS. DO NOT SCALE THE DRAWING - ANY ERRORS OR OMISSIONS SHALL BE REPORTED TO STANTEC WITHOUT DELAY. THE COPYRIGHTS TO ALL DESIGNS AND DRAWINGS ARE THE PROPERTY OF STANTEC. REPRODUCTION OR USE FOR ANY PURPOSE OTHER THAN THAT AUTHORIZED BY STANTEC IS FORBIDDEN.

	BOUNDARY LINE		DECIDUOUS TREE (SHOWN AT APPROXIMATE SIZE)
	RIGHT-OF-WAY		CONIFEROUS TREE (SHOWN AT APPROXIMATE SIZE)
	ADJOINING LOT LINE		
	EX. CURB & GUTTER		ROAD SIGN
	EX. SANITARY SEWER		UTILITY POLE AND ANCHOR
	EX. STORM SEWER		POWER BOX
	EX. WATER MAIN		TELEPHONE BOX
	BURIED TELEPHONE		CABLE TV BOX
	BURIED GAS MAIN		TRANSFORMER
	BURIED ELECTRIC		
	BURIED CABLE TELEVISION		
	AERIAL UTILITIES		



5. The property described herein is the same as the property described in the title commitment, prepared by Old Republic National Title Insurance Company, issued by DCA Title - The Title Team, Commitment No. DC242230, with a Commitment Date of August 26, 2024, at 7:00 AM, with 1 (one) revision.
2. Per Item No. 2 of Table A requirements: Property address is 16261 Richardson Ave, 18741 Robinson St., 16281 Richardson Ave, Dayton, MN 55327, per said commitment.
3. Per Item No. 3 of Table A requirements: According to the FEMA website, subject parcel is Zone AE, per 27053C0032F, effective on 11/4/2016. It appears part of these parcels are without base flood elevation (BFE) and part is designated as a 'Regulatory Floodway'.
4. Per Item No. 4 of Table A requirements: The subject property contains ± 1.19 acres ($\pm 52,023$ square feet).
5. Per Item No. 6(a) of Table A requirements: Parcels 3612123410010, 3612123410011, and 3612123410012 is zoned GMU-3, General Mixed-Use District 3; Historic Village and Parcels 3612123410021 is zoned R-O, Historic Village Residential District provided by the City of Dayton Planning & Zoning Department on January 13, 2025.
 - 5.1. GMU-3 Information:
 - 5.1.1. Front - 0 to 10 feet
 - 5.1.2. Side - 0 feet
 - 5.1.3. Side Corner - 0 to 10 feet
 - 5.1.4. Rear - 20 feet
 - 5.1.5. Building Height - 25 feet to 45 feet/4 stories
 - 5.2. R-O Information:
 - 5.2.1. Front - 30 feet
 - 5.2.2. Side - 10 feet dwelling, 5 feet non-dwelling
 - 5.2.3. Rear - 20 feet
6. Per Item No. 7(a) of Table A requirements: Exterior dimensions of existing building at ground level. SHOWN ON SURVEY.
7. Per Item No. 8 of Table A requirements: Substantial features observed in the process of conducting fieldwork are shown on survey. SHOWN ON SURVEY
8. Per Item No. 9 of Table A requirements: There are NO designated parking stall on said property.
9. Per Item No. 11b of Table A requirements: Evidence of underground utilities existing on or serving the surveyed property as determined by: (a) plans and/or reports provided by client. Private utility locations, such as underground sprinklers, underground service lines, etc. may not have been located. Stantec can not guarantee that all utility companies responded or the accuracy or completeness of the locates. Prior to any digging, contact Gopher State One Call at 1-800-252-1166. VISIBLE MARKINGS AT TIME OF FIELD WORK SHOWN ON SURVEY OF THOSE UTILITY COMPANIES WHICH RESPONDED TO GSOC REQUEST PER TICKET NO'S 243240651, 243240633, & 243240625 .
10. Per Item No. 13 of Table A requirements: Names of adjoining owners per Hennepin County GIS Web site. SHOWN ON SURVEY.
11. Per Item No. 16 of Table A requirements: NO evidence of recent earth moving work, building construction, or building additions were observed at the time of the fieldwork.
12. Per Item No. 17 of Table A requirements: No information was made available to surveyor about any proposed changes in street right of way lines. No evidence of recent street or sidewalk construction or repairs were observed at the time of the field work.
13. Per Item No. 18 of Table A requirements: Easements shown are per stated title commitment provided to surveyor at time of the field work.
14. Per Item No. 19 of Table A requirements: Stantec has Professional Liability Insurance and can be provided if requested.
15. NOTE: Building encroachment onto adjacent property to the south, ± 0.50 feet. SHOWN ON SURVEY.
16. NOTE: Chain link fence encroachment onto adjacent property to the south, ± 1.3 feet. SHOWN ON SURVEY.

VERTICAL DATA
NAVD88
Hennepin County Control Point "CHURCH"
Elevation = 929.69
NAVD88 - 0.11 Feet = NGVD29



NOT TO SCALE



And that part of Section 36, Township 121, Range 23, described as follows: Beginning at a point 60 feet West of the Northwest corner of Block 13, Village of Dayton; thence South along the West line Richardson Street 150 feet to the actual point of beginning of the tract to be described; thence continuing South along said West line 59 feet; thence West at right angles 160 feet; thence North at right angles 44 feet; thence West at right angles to Crow River; thence Northerly along Crow River a point 15 feet North at right angles from the last described line which point is due West from the actual point of beginning; thence East to the actual point of beginning, Hennepin County, Minnesota.

Commencing at a point 60 feet West of the Northwest corner of Block 13, Town of Dayton; thence West 40 feet; thence South 150 feet; thence East 40 feet; thence North 150 feet to place of beginning, being in Section 36, Township 121, Range 23, West of the 5th Principal Meridian, Hennepin County, Minnesota.

That part of Government Lot 5, Section 36, Township 121, Range 23, described as follows:
Beginning at a point 220 feet West of the Northwest Corner of Block 13 in the Townsite of
Dayton (also known as the Village of Dayton); thence South 150 feet; thence West to the Crow
River; thence Northerly along the Crow River to a point due West of the point of beginning;
thence due East to the point of beginning.

That part of Government Lot 5, Section 36, Township 121, Range 23, Hennepin County, Minnesota described as follows:


Commencing at the East Quarter corner of Section 36; thence on an assumed bearing of South 00 degrees 43 minutes 38 seconds West, along the East line of said Government Lot 5, a distance of 419.68 feet; thence North 89 degrees 18 minutes 25 seconds West, a distance of 190.48 feet to the point of beginning; thence South 00 degrees 41 minutes 35 seconds West, a distance of 130.62 feet; thence North 89 degrees 18 minutes 25 seconds West to the shoreline of the Crow River; thence Northerly along said shoreline of the Crow River to the intersection of a line that bears North 89 degrees 18 minutes 25 seconds West from the point of beginning; thence South 89 degrees 18 minutes 25 seconds East to the point of beginning.

I hereby certify to City of Dayton, Minnesota:

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1, 2, 3, 4, 5, 6(a), 7(a), 8, 9, 11(b), 13, 16, 17, 18, and 19 of Table A thereof.

The field work was completed on January 8 & 9, 2025.

STANTEC


Daniel J. Roeber, Professional Land Surveyor
Minnesota License Number 43133
January 15, 2025

ITEM:

Discussion – EDA Mission Statement

APPLICANT/PRESENTERS:

Tim Huttner, EDA President

PREPARED BY:

Jon Sevald, Community Development Director

BACKGROUND/OVERVIEW:

Mission Statements were adopted in 2016¹ and amended in 2024(?). The Mission Statement is posted on EDA agendas and on the EDA [website](#). The EDA tabled this item at its May 20th meeting to allow additional time to consider.

2016 *to promote economic growth in the City of Dayton through the attraction of new business, retention of existing business and promotion of managed growth and redevelopment of key areas by providing resources that enable development and enhance the quality of life in Dayton.*

2024(?) *to promote a thriving community and to provide residents with a safe and pleasant place to live while preserving our rural character, creating connections to our natural resources, and providing customer service that is efficient, fiscally responsible, and responsive.*

Proposed: *The Dayton EDA drives targeted growth through business attraction, retention, and strategic redevelopment. We prioritize projects that align with infrastructure, land use, and long-term fiscal health. Our mission is to build a resilient, competitive, and livable city.*

CRITICAL ISSUES:

None.

RELATIONSHIP TO COUNCIL GOALS:

Foster a safe and Welcoming Community

- Communicate transparently and effectively

ROLE OF THE EDA:

Motion to Amend the EDA Mission Statement.

RECOMMENDATION:

None.

¹ EDA Minutes, March 15, 2016

DAYTON - LENT PROPERTY CONCEPT PLAN

NARRATIVE

This riverfront event venue is thoughtfully designed to celebrate the natural beauty of its riparian setting while meeting the challenges of building in a dynamic landscape. The main event building and accessory structure are elevated to 860 feet to comply with floodplain regulations, using elevated pathways and landform transitions to ensure seamless access.

The site unfolds as a sequence of outdoor spaces: from the entry and pre-function gathering areas, to a central great lawn for weddings and retreats, a flexible shelter structure for covered events, and finally a natural meadow that gently slopes into the floodway. This lower area remains unbuilt and is planted with resilient native vegetation, preserving the river's natural flood function.

Architecturally and ecologically responsive, the project blends adaptive design, sustainability, and flexible use, creating a resilient and welcoming destination for celebration, connection, and reflection along the river.



OPTION 1 - EVENT VENUE

LEGEND

- A - PEDESTRIAN ENTRY CORRIDOR FROM DOWNTOWN
- B - PRE-FUNCTION GATHERING SPACE
- C - ENTRY PLAZA
- D - THE LAWN - PROGRAMMABLE OUTDOOR SPACE
- E - SHELTER/OUTDOOR VENUE
- F - UNPROGRAMMED LAWN SPACE IN FLOODWAY
- G - PARKING LOT ENCLOSED WITH LANDSCAPE SCREENING ELEMENTS
- H - VEHICULAR DROPOFF



A - PEDESTRIAN ENTRY CORRIDOR



B - PRE-FUNCTION GATHERING SPACE



C - ENTRY PLAZA



D - THE LAWN



E - SHELTER/OUTDOOR VENUE



F - UNPROGRAMMED LAWN SPACE



G - PARKING LOT ENCLOSED WITH LANDSCAPE SCREENING ELEMENTS



H - VEHICULAR DROPOFF

DAYTON - LENT PROPERTY CONCEPT PLAN

NARRATIVE

This riverfront site offers a brewery and restaurant with an outdoor adventure outfitter, creating a vibrant destination for food, drink, music, and recreation. Set within floodplain and floodway zones, the building is elevated to 860 feet for flood protection, with a large event deck overlooking the river.

A series of terraced patios step down the natural slope, offering areas to eat, drink, listen to live music, play yard games, and gather with friends. Features include a fenced off-leash dog area and a natural lawn in the floodway where visitors can relax by the river with seating or picnic setups.

Guests can arrive by vehicle or on-foot, but the most exciting part is guests can arrive via kayak, paddleboard, boat or canoe, grabbing a drink or bite to eat during or after their outdoor adventures on the water. The outfitter offers rentals and trip planning for upstream or downstream adventures, making the site a unique hub for both river recreation and community gathering.



OPTION 2 - BREWERY/OUTFITTER

LEGEND

- A - OUTDOOR PATIO TERRACES
- B - BREWERY EVENT DECK
- C - OUTDOOR YARD GAME AREA
- D - OUTFITTER RENTAL AREA
- E - OFF LEASH DOG AREA
- F - UNPROGRAMMED LAWN SPACE
- G - PARKING LOT ENCLOSED WITH LANDSCAPE SCREENING ELEMENTS
- H - VEHICULAR DROPOFF



A - OUTDOOR PATIO TERRACES



B - BREWERY EVENT DECK



C - OUTDOOR YARD GAME AREA



D - OUTFITTER RENTAL AREA



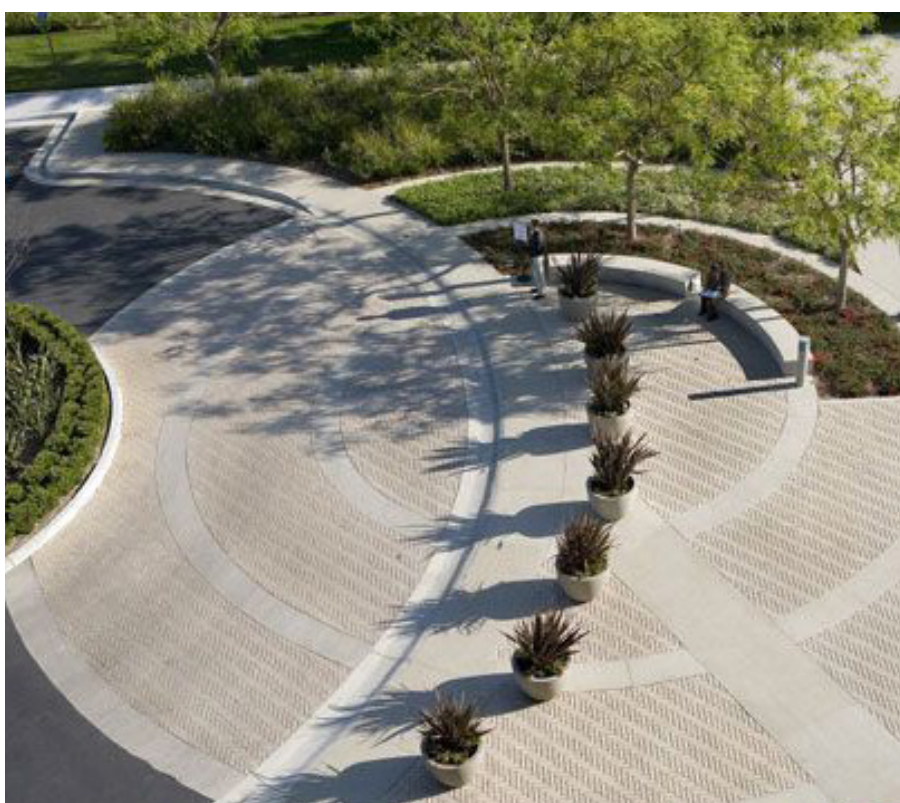
E - OFF LEASH DOG AREA



F - UNPROGRAMMED LAWN SPACE



G - PARKING LOT ENCLOSED WITH LANDSCAPE SCREENING ELEMENTS



H - VEHICULAR DROPOFF

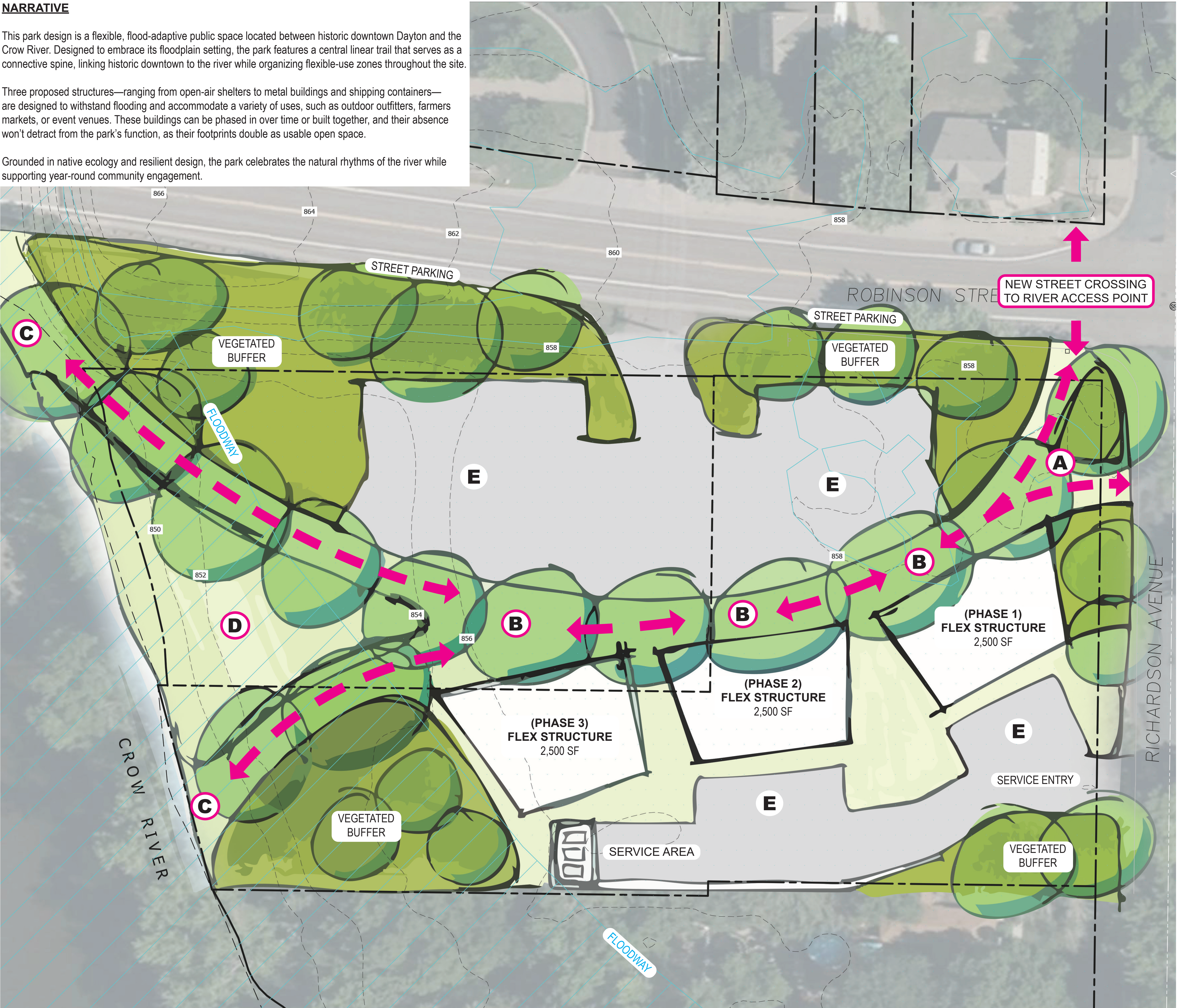
DAYTON - LENT PROPERTY CONCEPT PLAN

NARRATIVE

This park design is a flexible, flood-adaptive public space located between historic downtown Dayton and the Crow River. Designed to embrace its floodplain setting, the park features a central linear trail that serves as a connective spine, linking historic downtown to the river while organizing flexible-use zones throughout the site.

Three proposed structures—ranging from open-air shelters to metal buildings and shipping containers—are designed to withstand flooding and accommodate a variety of uses, such as outdoor outfitters, farmers markets, or event venues. These buildings can be phased in over time or built together, and their absence won't detract from the park's function, as their footprints double as usable open space.

Grounded in native ecology and resilient design, the park celebrates the natural rhythms of the river while supporting year-round community engagement.



OPTION 3 - FLEX SPACE CATALYST

LEGEND

- A - PEDESTRIAN ENTRY CORRIDOR
- B - LINEAR PARKWAY TRAIL
- C - RIVER ACCESS POINTS
- D - UNPROGRAMMED LAWN SPACE
- E - PARKING LOT ENCLOSED WITH LANDSCAPE SCREENING ELEMENTS



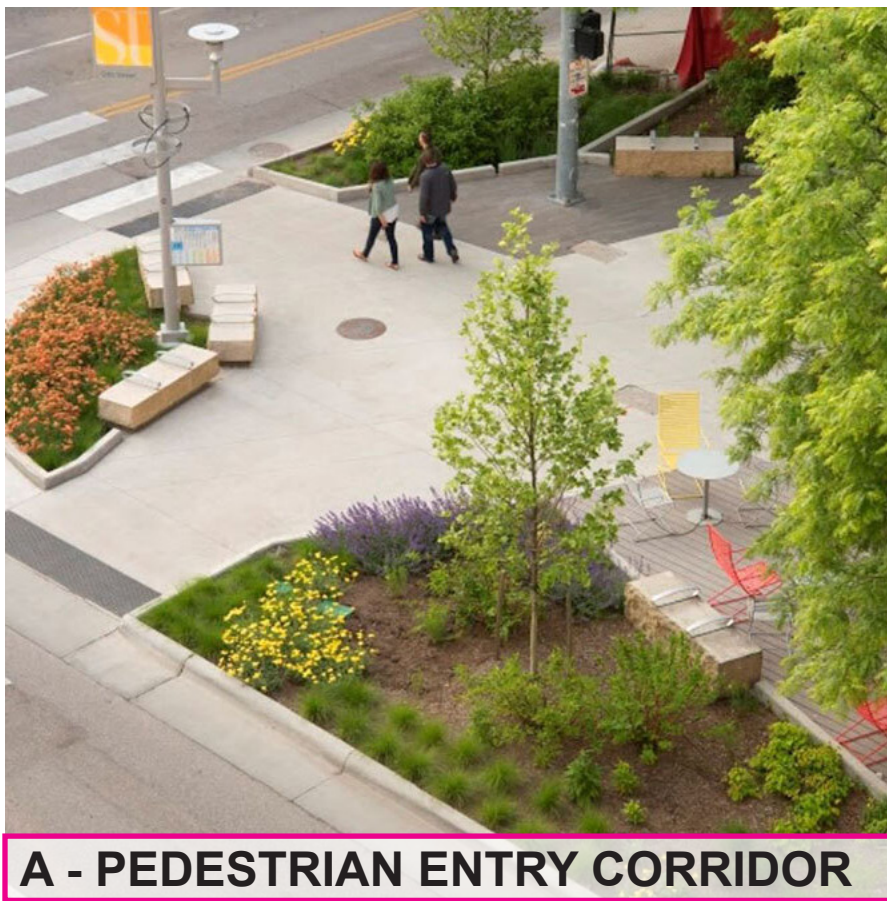
FLEX STRUCTURE - OPEN AIR



FLEX STRUCTURE - METAL BUILDING WITH ROLLING DOORS



FLEX STRUCTURE - SHIPPING CONTAINERS



A - PEDESTRIAN ENTRY CORRIDOR



B - LINEAR PARKWAY TRAIL



C - RIVER ACCESS POINTS





D - UNPROGRAMMED LAWN SPACE




E - PARKING LOT ENCLOSED WITH LANDSCAPE SCREENING ELEMENTS

Legend

 FLOODWAY

 FLOODPLAIN

 PROPERTY BOUNDARY

Revision	By	Appd.	YY.MM.DD

Issued	By	Appd.	YY.MM.DD
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File Name:			
	Dwn.	Chkd.	Dsgn.

Client/Project
City of Dayton, MN

Lent Property Area Concept Plan

Dayton, MN

Title
CONCEPT ZONING PLAN

Project No. 227707899	Scale
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Drawing No.	Sheet	Revision
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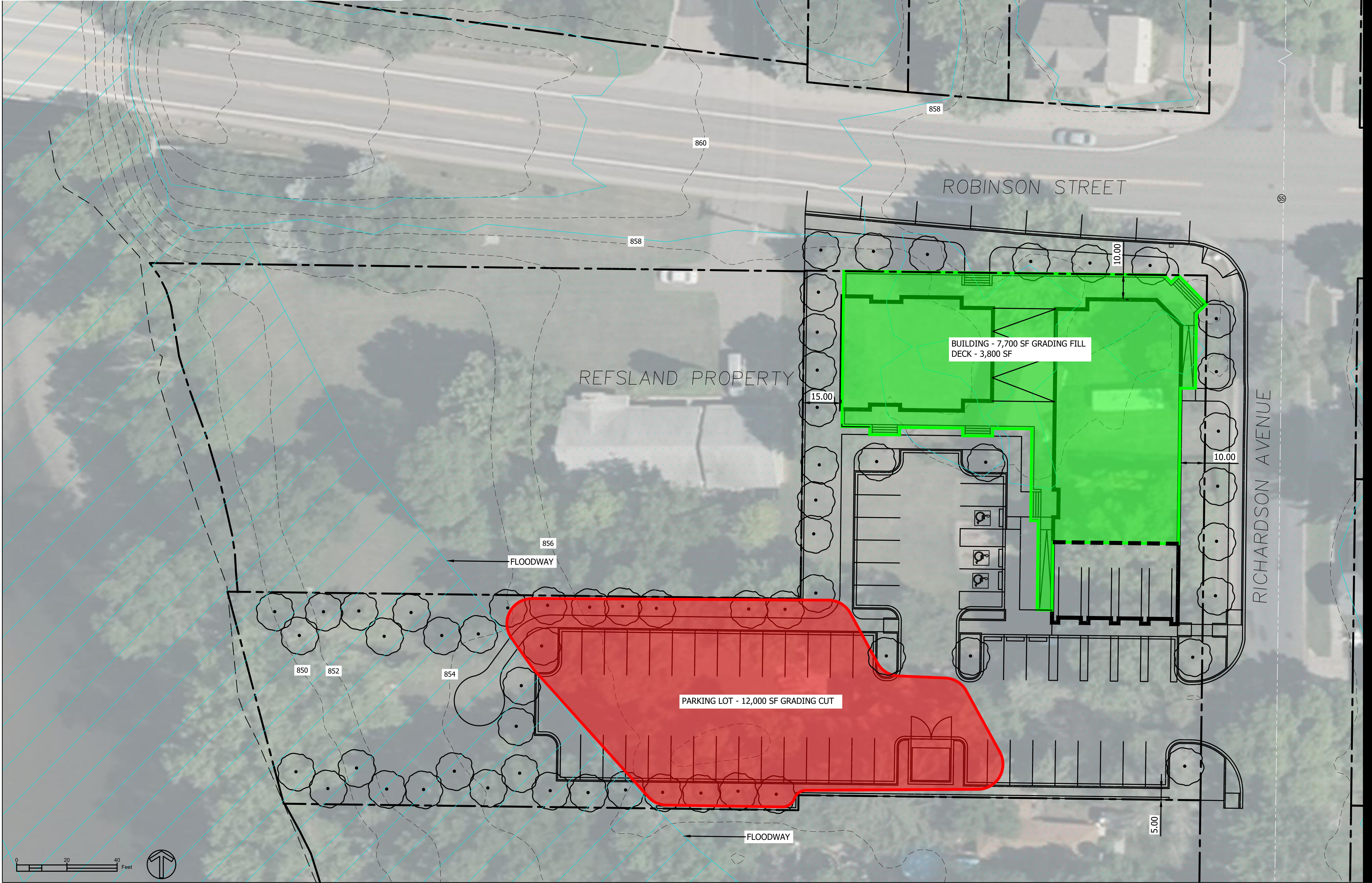


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2022/06/09 11:31 PM By: 306080_208

ORIGINAL SHEET - ANSI D

FLOODPLAIN MITIGATION DESIGN CONSIDERATIONS:

- CUT/FILL BALANCE WILL NEED FURTHER STUDY TO DETERMINE FLOODPLAIN MITIGATION.
- FILL:
 - BUILDING - 7,700 SF
 - DECK - 3,800 SF
- CUT:
 - PARKING LOT - 12,000 SF
- ASSUMED CUT NOT ALLOWED IN FLOODWAY
- BUILDING WILL BE RAISED 2' OUT OF FLOODPLAIN TO ELEVATION 860'. DECK AROUND BUILDING WILL BE ON PIERS NOT REQUIRING ADDITIONAL FILL IN THE AREA.



Stantec
7208 West 80th Street, Suite 201
Overland Park, KS 66204
Tel. 913-905-3415
www.stantec.com

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Consultants

Legend			
	FLOODWAY		
	FLOODPLAIN		
	PROPERTY BOUNDARY		

Notes

Revision	By	Appd.	YY.MM.DD
Issued	By	Appd.	YY.MM.DD
File Name:			
	Dwn.	Chkd.	Dsgn.
Permit-Seal			YY.MM.DD

Client/Project
City of Dayton, MN

Lent Property Area Concept Plan

Dayton, MN

Title
CONCEPT CUT/FILL DIAGRAM

Project No. 227707899	Scale	
Drawing No. L103	Sheet 3 of 3	Revision 0

ITEM

Concept Plan Review for a Contractor's Operation with Outdoor Storage as an Accessory Use in the I-1, Light Industrial District

APPLICANT

Roger Ops, LLC.

PREPARED BY

Hayden Stensgard, Planner II

BACKGROUND/OVERVIEW

Rogers Ops, LLC. has submitted a concept application for a future industrial building located near the intersection of West French Lake Road and 121st Avenue North. The plan consists of a 26,096-square-foot office and warehouse building for a potential Contractor's Operation for Telcom Construction. Telcom Construction is a utility contractor based in Clearwater, Minnesota. The subject property is 8.43 acres (366,903 square feet). The applicants also show a dedicated area of Outdoor Storage as an Accessory Use.

The concept plan review process is designed to receive early input from the public, Planning Commission, and City Council prior to a developer committing large expenditures towards engineering design. A concept plan does not require the level of engineering detail that a site plan or preliminary plat submittal will require. Comments are not binding, nor are they expected to be the only comments on this project. Once a final site plan is submitted the review process begins and additional formal review comments will be provided.

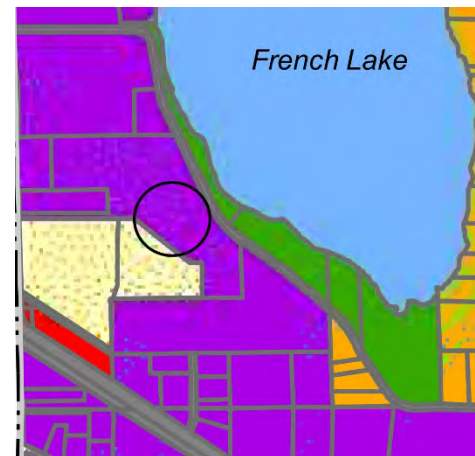
LAND USE & ZONING

The property is guided Industrial and is currently zoned I-1, Light Industrial District. A Contractor's Operation is a permitted principal use within the I-1 District, and Outdoor Storage is a conditional accessory use, subject to specific standards detailed within the Zoning Ordinance.

In 2023, this site was previously approved for a Contractor's Operation for a different business, but the property was never developed following approvals.

CONCEPT PLAN ANALYSIS

Because it is a concept plan, the level of detail does not meet what would normally be required for a Preliminary Plat application. With that being said, it is anticipated that the development would be required to meet the standards set forth for the I-1 district. The site plan also shows, however, an area dedicated for outdoor storage that is roughly 45,647 square feet, including 35,000 square feet of outdoor storage with gravel surfacing. Per the zoning ordinance standards for outdoor storage, the area dedicated for outdoor storage must be surfaced with improved material such as asphalt or concrete¹. The applicants have expressed concerns about an improved-surfaced outdoor storage area. Screening of the outdoor storage area would be required to comply with the zoning ordinance standards.



¹ [Dayton Zoning Ordinance Section 1001.062 Subd. 2\(4\)\(b\)](#)

Additionally, there is an adjacent property guided for residential (vacant lot guided for a manufactured home park). The standards for outdoor storage outlined within the zoning ordinance does not allow outdoor storage adjacent to land guided residential². The Planning Commission and City Council are asked to discuss the proposed outdoor storage area related to the proposed surfacing and proposed location, although it will not directly abut the residentially guided lot, but will be in proximity to it.

Below are the code standards for industrial-zoned lots in comparison to what is proposed in this concept plan. Based on the plans provided, the concept meets all the standards required in the table below.

	Required	Proposed
Minimum lot size¹	1 acre	8.42 Acres
Minimum lot width¹	150 feet	976 feet
Minimum lot depth¹	150 feet	590 feet
Maximum impervious surface coverage	80%	59%
Maximum building footprint coverage	50%	7.11%
Structure height limit	50 feet - above 50 feet requires a CUP	No information, expectation would be to meet the code standard
Setbacks²		
Building - Principal Structure		
Front yard	30 (50) feet - <i>Plus 1 foot for every 1 foot of building height over 30 feet (maximum setback of 80 feet)</i>	31.4 feet
Side yard	15 (40) feet	167 feet
Side yard (street)	30 (40) feet	270 feet
Rear yard	15 (50) feet	347 feet
Parking		
Front, side, or rear to a street	20 (20) feet	20 feet

² [Dayton Zoning Ordinance Section 1001.063 Subd. 2\(4\)\(i\)](#)

Side interior	5 (20) feet	23 feet
Rear yard	15 (20) feet	348 feet
¹ Minimum lot size, width, depth, and the like shall not include area of street easements, right-of-way, or common areas.		
² Setbacks in parentheses apply adjacent to all Residential Districts. A 20-foot setback is required for any structure or parking adjacent to any other Residential District.		

CRITICAL ISSUES

Outdoor Storage Surfacing and Location – Per the Zoning Ordinance standards for outdoor storage as an accessory use, the storage area is required to be surfaced with asphalt or concrete. The applicants have expressed concerns with this requirement due to the large tracked equipment that would be stored in the area, and that the equipment would continually put strain on the improved surface, requiring routine repairs and upkeep to the area. Outdoor storage is allowed in industrial districts through a Conditional Use Permit, which holds the same standard for surfacing. The Planning Commission and City Council is asked to address this during the concept plan review and provide feedback on the request. Additionally, the property southwest of this property is guided for a manufactured home park within the 2040 Comprehensive Plan. As noted previously, outdoor storage is not allowed to abut residentially guided property. When the 2040 Comprehensive Plan was adopted, there was a general understanding that the existing park would expand. Staff has recently met with those property owners, and they have indicated to the City that there is no plan at this time for a future expansion of the park, and they would be open to other interests in the property from potential users. Given this information, the Planning Commission and City Council are asked to also discuss and provide feedback on this site limitation.

Without the request of a Planned Unit Development, the concept plan moving forward is anticipated to meet all the requirements established in the Zoning Ordinance for the I-1 Light Industrial District. A plan review letter addressing those requirements is attached to this report.

ROLE OF THE PLANNING COMMISSION

The role of the Planning Commission is to review the concept plans and provide feedback for the applicants to further consider if they intend to apply for a preliminary plat. The Planning Commission shall also hold a public hearing on this matter. Notice of public hearing was published in The Press on Thursday, May 22, 2025 and mailed to surrounding property owners within one-quarter of a mile.

ATTACHMENTS

Aerial Photo
 Project Narrative
 Concept Plan Set
 Building Elevations & Floor Plans
 Zoning Map & 2040 Comp Plan Future Land Use Map
 Planning & Zoning Comment Letter, dated June 5, 2025
 Engineering Comment Letter, dated June 5, 2025



Hennepin County Locate & Notify Map

Date: 5/21/2025



Buffer Size:

Map Comments:

0 205 410 820 Feet
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This data (i) is furnished 'AS IS' with no representation as to completeness or accuracy; (ii) is furnished with no warranty of any kind; and (iii) is not suitable for legal, engineering or surveying purposes. Hennepin County shall not be liable for any damage, injury or loss resulting from this data.

For more information, contact Hennepin County GIS Office
300 6th Street South, Minneapolis, MN 55487 / gis.info@hennepin.us



May 20, 2025

City of Dayton
12260 S Diamond Lake Rd
Dayton, MN 55327

Dear members of the Planning Commission and City Council of the City of Dayton.

Rogers Ops LLC on behalf of Telcom Construction is pleased to submit this narrative for your consideration.

Telcom Construction LLC is a self-performing, turn-key provider of Wireline Engineering, Design and Construction services with significant experience in the design/build of telecommunications projects. Our company has built over 150,000 fiber route miles and has the capacity to support over one million feet of underground fiber placement per month. Telcom Construction has the experience, people, and equipment to handle any type of telecommunications maintenance and construction project in both rural and metropolitan environments in a 16-state area.

Our team has extensive experience in the telecommunications industry with in-house staff consisting of planners, engineers, business professionals, construction managers, and financial analysts to offer a truly exceptional seamless experience to the industry. We develop strategic implementation plans and program management to create a unique turnkey solution to meet the individualized project goals and objectives of our customers.

Telcom has been headquartered in Clearwater Minnesota for the past 25 plus years with 18 offices spread throughout the Midwest; 5 of which are in Minnesota. We consistently have annual revenues of over \$250million with growth goals to take us far beyond where we are today. Our expansion into Dayton will allow us to provide service more efficiently to our largest market in Minnesota and provide 80 – 120 high quality jobs (including in office, some reporting to jobsites or working remotely from home) to the Dayton community. With its proximity to our headquarters and the metro area, Dayton is uniquely positioned as a satellite office to effectively contribute to our aggressive expansion goals as well as provide a central location for safety, OSHA and career training to our broader organization.

We are proposing a 26,096 square foot building with 8,000square feet of office space with 77 parking stalls. Critical to our business are the telecommunication materials as well as the utility trucks and machines required for the installation of our product. To that end, we are requesting 46,000 square feet of outside storage which is within the allowable area for this site. In addition, we are requesting gravel for a portion of the site rather than asphalt. We have track equipment which would cause repeated damage to asphalt and therefore is not practical in this situation.

We will have approximately 57 trucks and machines along with the telecommunication materials (all listed in detail on the site plan). All outdoor storage areas will be screened with an 8-foot opaque fence with the vast majority of material and equipment being 8 feet or less. The maximum height for any item will be 14'6". With the location of the outside storage area toward the back of the lot, the proposed 8' opaque fence, and the proposed landscaping, the stored equipment and materials will be well screened from public view.

We have been careful to design a very attractive building with ample landscaping throughout the plan.

We very much look forward to becoming a good corporate citizen of the Dayton community. Thank you for your consideration.

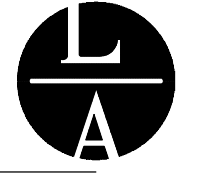
Sincerely,

DocuSigned by:
Mark Muller
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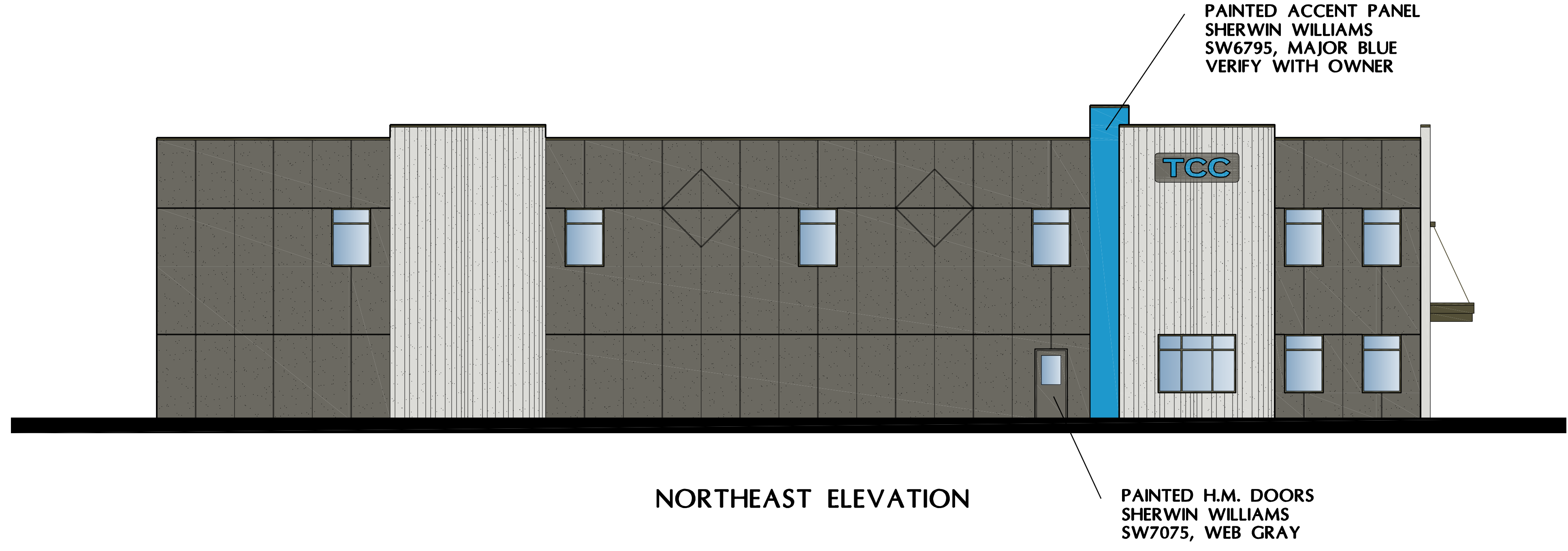
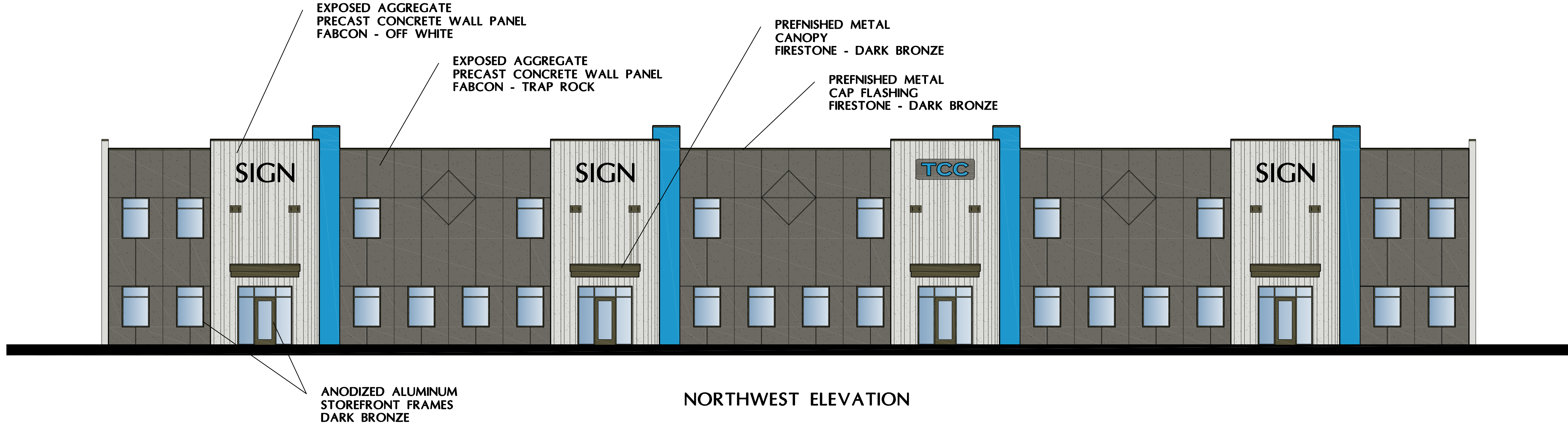
Mark Muller
President
Rogers Ops LLC



SITE DATA	
PARCEL AREA:	
TOTAL AREA:	366,903 SF
WETLAND AREA:	50,126 SF
NET AREA:	316,777 SF
IMPERVIOUS AREA:	
BUILDING:	26,096 SF 7%
PAVEMENTS:	126,053 SF 34%
TOTAL:	152,149 SF 41%
PERVIOUS AREA:	214,754 SF 59%
PARKING SUMMARY	
STANDARD STALLS:	74
HANDICAP STALLS:	3
TOTAL STALLS:	77
OUTSIDE STORAGE	
ALLOWABLE AREA (20% OF NET):	63,355 SF
PROPOSED AREA:	45,647 SF
OUTSIDE STORAGE SUMMARY:	
MATERIALS:	
• 2 EA. 2,000 GALLON GAS/DIESEL USTS	
• 2 EA. 30 CUBIC YARD DUMPSTERS	
• 20 EA. PALLETS OF UTILITY PEDS	
• 20 EA. PALLETS OF UTILITY HAND HOLES	
• 18 EA. 7" REELS OF DUCT	
• 23 EA. REELS OF FIBER	
• 3 EA. 20' X 4' PALLET RACKING FOR MISC.	
UTILITY TRUCKS/MACHINES:	
• 22 EA. PICKUP TRUCKS	
• 7 EA. SINGLE UNIT TRUCKS	
• 2 EA. SEMI TRUCK	
• 7 EA. MEDIUM DUTY TRAILERS WITH	
DIRECTIONAL DRILL MACHINES ON TRAILERS	
• 12 EA. LIGHT DUTY TRAILERS WITH MINI	
BACKHOE OR SKID STEER ON TRAILER	
• 1 EA. MID-SIZE EXCAVATOR	
• 3 EA. CABLER MAINTENANCE PLOW	
• 3 EA. VAC TRUCK	

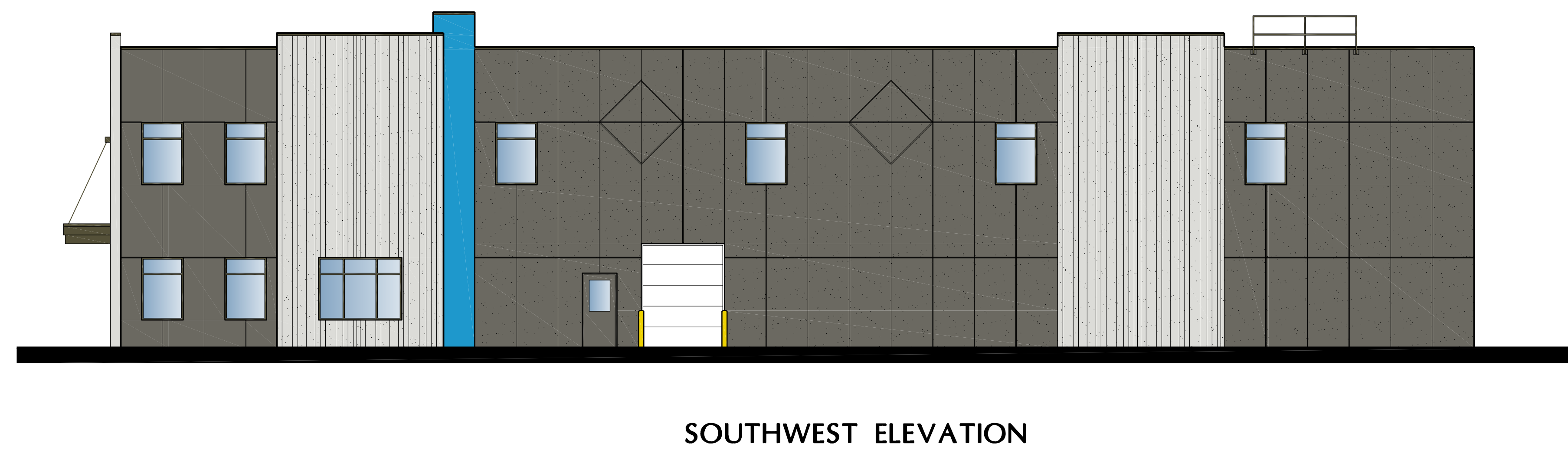
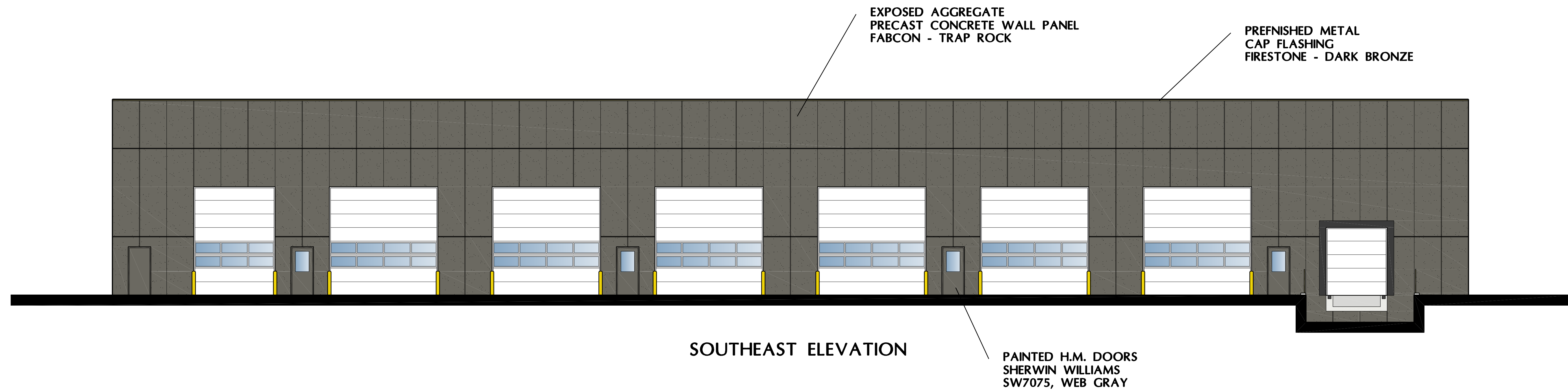
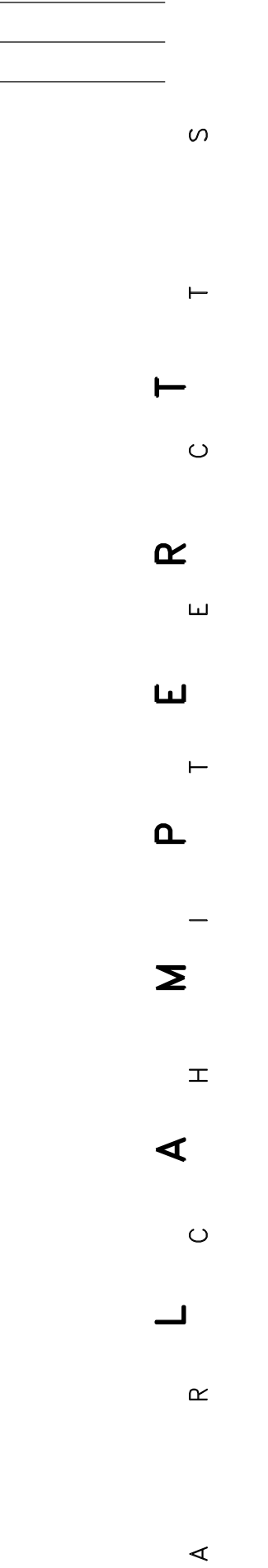


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TELCOM CONSTRUCTION
Dayton, Minnesota

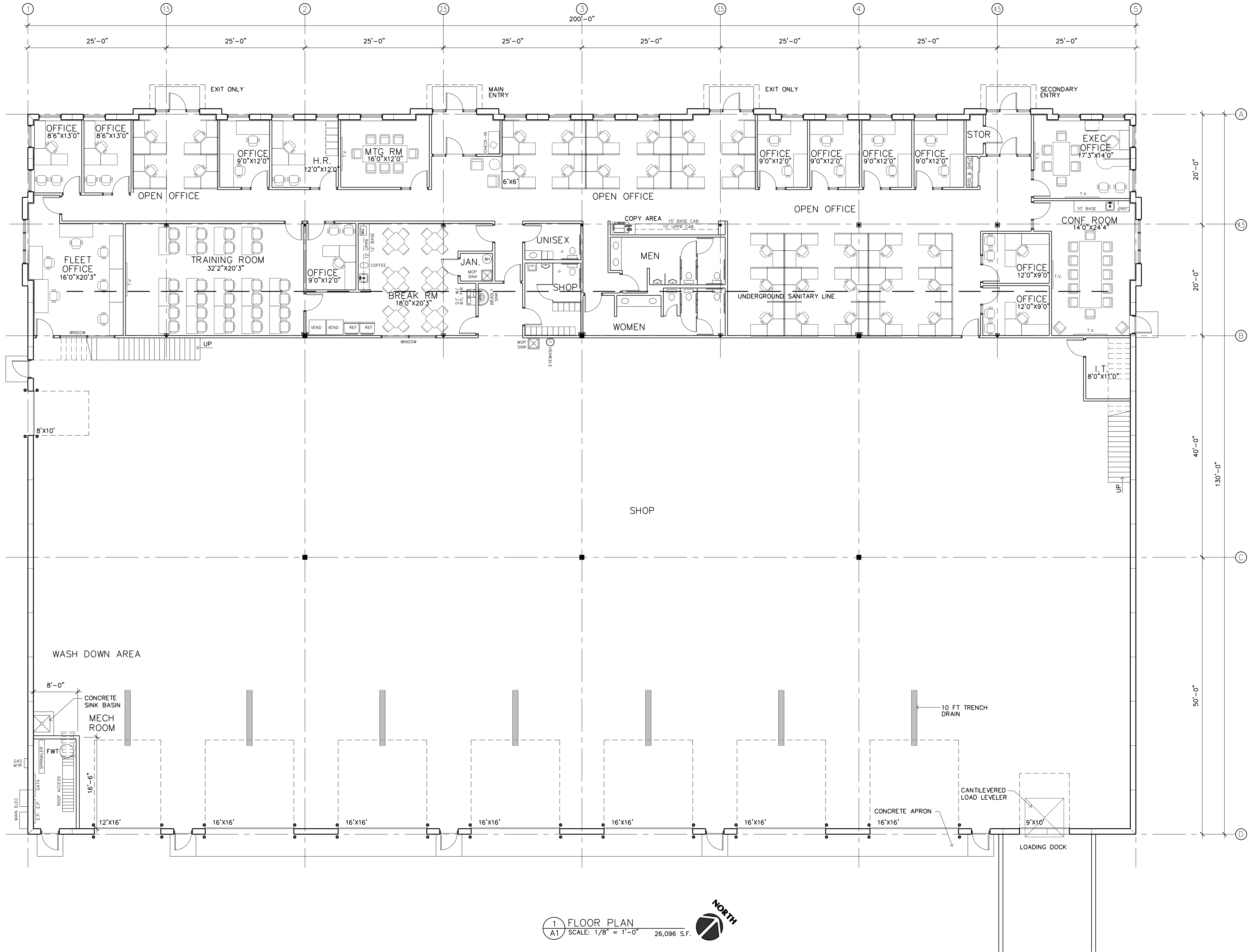
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ILLUSTRATIVE PURPOSES ONLY.
ACTUAL COLORS NEED TO BE
FIELD VERIFIED.



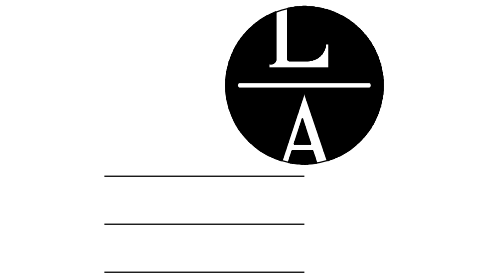
TELCOM CONSTRUCTION

Dayton, Minnesota

NOTE: THIS DRAWING IS FOR
ILLUSTRATIVE PURPOSES ONLY.
ACTUAL COLORS NEED TO BE
FIELD VERIFIED.



1 FLOOR PLAN
A1 SCALE: 1/8" = 1'-0" 26,096 S.F.



LAMPERT
ARCHITECTS

420 Summit Avenue
St. Paul, MN 55102
Phone: 763.755.1211 Fax: 763.757.2849
lampert@lampert-arch.com

ARCHITECT CERTIFICATION:
I HEREBY CERTIFY THAT THIS PLAN,
SPECIFICATION OR REPORT WAS
PREPARED BY ME OR UNDER MY DIRECT
SUPERVISION AND THAT I AM A DULY
LICENSED ARCHITECT UNDER THE
LAWS OF THE STATE OF MINNESOTA.

PRELIMINARY
NOT FOR
CONSTRUCTION

TELCOM
CONSTRUCTION
Dayton, Minnesota

Copyright 2025
Leonard Lampert Architects Inc.

Project Designer: JAMES B

Drawn By: JRB

Checked By: LL

Revisions

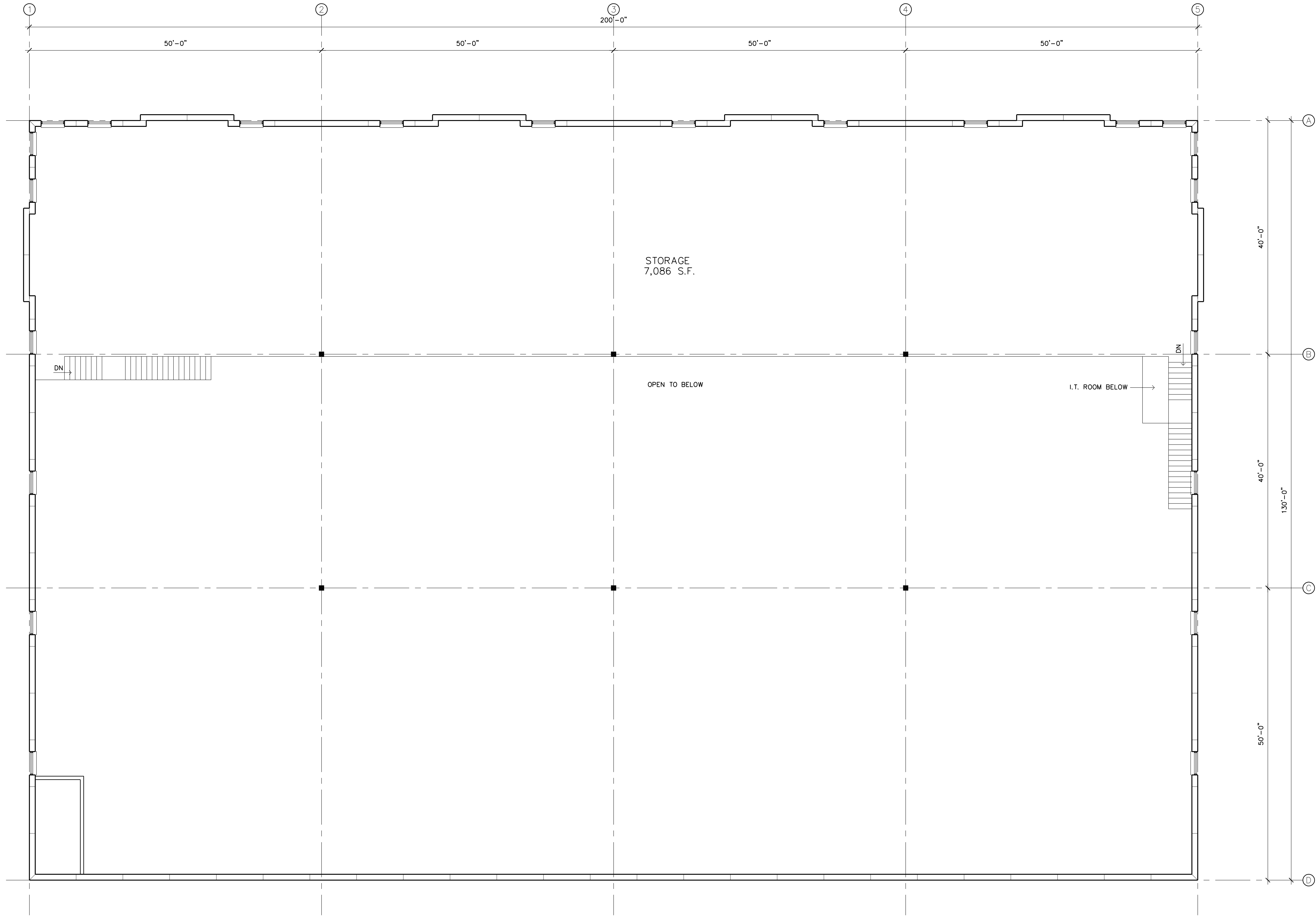
4/23/25	PRELIMINARY

FLOOR PLAN

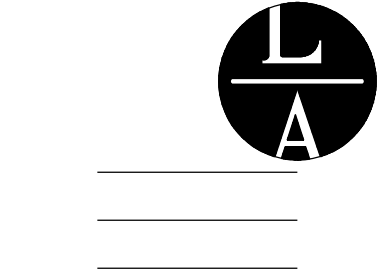
Sheet Number

A1

Project No. 250325-1



1 SECOND FLOOR PLAN
A2 SCALE: 1/8" = 1'-0"



LAMPERT
ARCHITECTS

420 Summit Avenue
St. Paul, MN 55102
Phone: 763.755.1211 Fax: 763.757.2849
lampert@lampert-arch.com

ARCHITECT CERTIFICATION:
I HEREBY CERTIFY THAT THIS PLAN,
SPECIFICATION OR REPORT WAS
PREPARED BY ME OR UNDER MY DIRECT
SUPERVISION AND THAT I AM A DULY
LICENSED ARCHITECT UNDER THE
LAWS OF THE STATE OF MINNESOTA.

PRELIMINARY
NOT FOR
CONSTRUCTION

TELCOM
CONSTRUCTION
Dayton, Minnesota

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Leonard Lampert Architects Inc.

Project Designer: JAMES B

Drawn By: JRB

Checked By: LL

Revisions

4/23/25 PRELIMINARY

SECOND FLOOR PLAN

Sheet Number

A2

Project No. 250325-1

To: Rogers Ops, LLC.

From: Planning & Zoning Department

File: Telcom Concept Plan

Date: 6/5/2025

Exhibits:

This memorandum is based on a review of the following document:

1. Conceptual Site Plan by Contour Civil Design, no date.
2. Building Elevations and Floor Plans by Lampert Architects, dated 4/23/2025
3. Project Narrative, dated May 20, 2025

General Comments:

4. Current zoning is I-1, Light Industrial and the 2040 Comprehensive Plan guides this property as Industrial. The property is also within the "Current" MUSA Staging designation.
5. Contractor's Operations are permitted principal uses within the I-1, Light Industrial District, and Outdoor Storage is allowed as an Accessory Use in the I-1 district by way of a Conditional Use Permit.
6. The applicant will be required to submit a preliminary plat, site plan review, and conditional use permit application following the concept plan being reviewed and discussed by the Planning Commission and the City Council. Any comments herein, including the engineering review letter provided by City Engineer Jason Quisberg, and any comments provided by the Planning Commission and City Council shall be utilized while developing the preliminary plat package for submittal.
7. Preliminary Plat application shall include all data identified in Subdivision Ordinance Section [1002.06](#), Data Required for Preliminary Plats.
8. Site signage shall be in accordance with Zoning Ordinance Section [1001.20](#) and shall be approved through a separate Sign Permit application.

Layout/Zoning

9. All trash, recyclable materials, and trash and recyclable materials handling equipment shall be stored within the principal structure; 100% shall be adequately screened from public view by the principal building, or stored within an accessory structure constructed of building materials compatible with the principal structure enclosed by a roof and overhead door on tracks.

Building Design

10. *Design elements.* The building design must include architectural interest through the use of a minimum of 3 of the following elements:

- a. Accent materials;
 - b. A visually pleasing front entry that, in addition to doors, shall be accented a minimum of 150 square feet around the door entrance for single occupancy buildings and a minimum of 300 square feet total for the front of multi-tenant buildings (this area shall be counted as 1 element);
 - c. Twenty-five percent window coverage on each front that faces a street;
 - d. Contrasting, yet complementary material colors;
 - e. A combination of horizontal and vertical design features;
 - f. Irregular building shapes; or
 - g. Other architectural features in the overall architectural concept.
11. All rooftop equipment shall be screened from ground-view.

Outdoor Storage

12. Screening shall be at a minimum of 8 feet in height, at time of installation from street level view and around the perimeter of the open storage area by means of a combination of fencing, landscaping, berming, and/or building placement. Landscaping shall be placed outside and along the perimeter of the fence to soften the appearance of the fence. Landscaping shall consist of a minimum of 2 trees and 5-10 shrubs per 100 feet of fence.
13. Pole-mounted lighting shall be limited to 20 feet in height. All light fixtures shall be downcast style fixtures. Reflected glare or spill light from all exterior lighting shall not exceed 0.1 foot-candle measurement on the property line when adjoining residential zoned and 1 foot-candle measure on the property line when such line adjoins a similar zone and land use.

Parking/Access/Transportation – 1001.19:

14. The total parking spaces on the concept plan is 77. Depending on the maximum number of non-office employees on a given shift, this number may be sufficient for meeting the parking requirements established in the Zoning Ordinance. This information shall be verified during the next round of applications.
15. Parking stall dimensions shall comply with the Zoning Ordinance standard of 10' x 20'. Parking stall length may be reduced to 18' if there is sufficient room for overhang.
16. Per the Zoning Ordinance, parking spaces shall not be located between the front façade line of the building and the street edge.
17. Parking rows shall be limited to a maximum length of 22 spaces. Longer rows shall include landscaped breaks, such as islands, with shade trees.

Landscaping:

18. Lot landscaping shall be consistent with [Zoning Ordinance Section 1001.24](#). A landscaping plan shall be submitted as part of the preliminary plat package.

Wetlands and Buffer:

19. The required wetland buffer to be established on the property must be an average of 25 feet in width along all wetlands on the property, with a minimum width of 10 feet. The buffer is to be

June 5, 2025

Telcom Concept Planning & Zoning Review

treated the same as the wetland. Based on the concept provided, the buffer area shown does not meet the 25 foot average.

To:	Jon Sevald	From:	Jason Quisberg, Engineering Nick Findley, Engineering
Project:	Telcom Concept Plan	Date:	May 27, 2025

Exhibits:

This Memorandum is based on a review of the following documents:

1. Telcom Concept Plan by Contour Civil Design, undated, 1 sheet

Comments:General

1. The concept reviewed comprises a total area of 8.43 acres along West French Lake Road and 121st Ave. This property was originally subdivided as a part of the Dayton Field 4th Addition.
2. Consistent with the review process, a comment response letter shall be provided in response to the following comments provided in this Memorandum in which the applicant provides a written response to each item.
3. These review comments are essentially very high level; the concept plan provides little detail beyond building and parking lot locations. Ultimately, a complete plan submittal will be required, providing detailed site plans, grading and drainage plans, water and sewer utilities, a preliminary plat, and other detailed plans as required by the City.
4. Existing easements and any planned or proposed easements, including conservation easements should be identified, and, if present, the layout adjusted accordingly.
5. In addition to engineering related comments per these plans, the proposed plans are subject to additional planning, zoning, land-use, and other applicable codes of the City of Dayton.
6. Final approval by the Elm Creek Watershed Management Commission must be attained before any site grading or activity may commence.
7. For any site activity (demo, grading, utilities, etc.) no closures or restrictions of any kind shall be imposed upon the public use of 121st Ave or West French Lake Road without the City's permission. Should any lane restrictions be necessary, the Contractor shall notify the City at least 48 hours in advance and provide a Traffic Control Plan.
8. Outlots shall be covered by drainage and utility easements.
9. Publicly and privately maintained facilities (streets, utilities, detention ponds, etc.) will need to be identified clearly, including maintenance responsibilities.
10. Work is taking place on adjacent properties, including remaining punchlist items. Coordination may be required.
11. Potential improvements to the existing pond may take place, coordination may be required. The timeline is unknown, but it is anticipated that the improvements will be 2+ years out.

Plat

12. Drainage and utility easement shall encompass the HWL of all on site wetlands, BMPs, and drainage conveyance systems.

Erosion Control/SWPPP

13. A MPCA/NPDES construction stormwater permit is required for the site. Sediment and erosion control plans shall be consistent with the general criteria set forth by the most recent versions of the Minnesota Stormwater Manual and the NPDES Construction site permit.

Wetlands

14. Wetlands appear to have been delineated with an approved replacement plan for this site. This should be evaluated further as the plans develop to ensure the proposed impacts do not change.
15. During future submittals the wetland buffers will be reviewed to ensure they meet the requirements of the City of Dayton and Elm Creek Watershed Management Commission.

Site Plans

16. The proposed parking stall dimensions conflict with the standards laid out in the City of Dayton code.
17. The proposed entrance is to be built to the commercial driveway apron standard detail.

Grading /Stormwater

18. A complete stormwater management plan shall be included in the preliminary plat application. The Stormwater Management Plan should follow Dayton and MPCA stormwater rules and regulations. The reports should include rate control for the 2-,5-,10-,100-year 24-hour MSE 3 rainfall events. Dayton requires load reduction achieved by abstracting 1.1 inch from net new impervious or no net increase in TP or TSS, whichever is lower. In addition, a complete grading and drainage plan must be provided, showing how the street, lot, and ponding areas are proposed to be graded. Information must also be provided showing all high-water levels, proposed building floor elevations, and other critical features. In addition, a stormwater application with the Elm Creek Watershed will be required. The applicant shall ensure that stormwater management devices are provided to meet City of Dayton and Elm Creek Watershed standards.
19. Grading shall allow adequate areas for buffering along 121st Ave and West French Lake Road. It is anticipated that grading and drainage along 121st Ave and West French Lake will be consistent with the existing corridor and not include abrupt changes in grading.
20. For the preliminary plat application, a complete grading plan shall be provided which includes proposed grades, identification and labeling of all emergency overflow elevations (EOF's), identification of proposed grades and all drainage swales, and any other topographic information relevant to site design.
21. A City of Dayton Land Disturbance Permit will be required.

22. Overall runoff and drainage related to this development will overlap with adjacent properties. The stormwater management plan must show how runoff and detention areas between properties are being routed and accounted for in an overall plan. In other words, the stormwater management plan must address runoff and discharge from both a local (this development) and a regional approach that includes the neighboring properties and roadways.
23. Any ponds or detention areas shall have a 10' maintenance access around pond with appropriate grading for access by maintenance vehicles.
24. The maintenance of stormwater detention areas will need to be defined.
25. The existing conditions are defined as the land cover prior to the introduction of agricultural land in Dayton. The existing model should incorporate pre-agricultural land values as referenced in the stormwater manual. A CN value of 58 shall be used in HSG B soils and a CN of 32 shall be used in HSG A soils for existing condition analyses 72 for HSG C and 79 for HSG D, off-site existing may be modeled as currently developed.
26. A Hydrocad report shall be submitted with the preliminary plat documents for complete stormwater review.
27. Upon further design, low floors adjacent to ponds/wetlands/other depressions must have 2 foot of freeboard above the modeled 100-yr high water level (HWL). This includes offsite low and depression areas adjacent to this site.
28. The City of Dayton's Local Surface Water Management plans requires that the storm sewer system must be designed to handle a 10-year event.
29. Maximum grading within the lot is 4:1 with a minimum grade of 2% along drainage swales.

Watermain/Sanitary Sewer

30. Sanitary sewer and watermain connections to the site are not shown within the current plan. This will be evaluated in future submittals.

End of Comments

ITEM:

Dayton Interchange Business Center, Preliminary Plat, Site Plan (Scannell)

APPLICANT/PRESENTERS:

Scott Moe, Scannell Properties
Trevor Conway, Sambatek

PREPARED BY:

Jon Sevald, Community Development Director

BACKGROUND/OVERVIEW:

The plat will combine two parcels into one 14 acre lot. The Site Plan proposes a 126,000 sq ft spec office/warehouse building with 28' clear height. The project was previously approved in 2022, but unbuilt due to a change in market demand. The revised project proposes to flip the orientation of the building such that it faces Territorial Road, with dock doors facing CSAH 81.

CRITICAL ISSUES:

- | | |
|----------------|--|
| 1. Dock Doors | Dock Doors are prohibited from facing arterial roadways (CSAH 81). The Planning Commission previously discussed, providing an opinion dock doors should not face 81, but might be acceptable if it results in a better site layout, and if the building design is such that it minimizes the appearance of the dock doors. |
| 2. Landscaping | 92 ornamental trees are required. None are proposed. |

ANALYSIS:

Comprehensive Plan	Future Land Use is guided Commercial (west parcel) and Industrial (east parcel). West parcel zoning is a remanent from when the Dayton Parkway corridor was zoned Commercial (pre-2023(?)).
Zoning	The properties are zoned I-1 Light Industrial. Permitted Industrial uses include contractors operation, light industrial, printing and publishing, indoor recycling, warehouse, and wholesaling.
Parking	63 stalls are required. 144 stalls are proposed.
Accessory Trailer Parking	Accessory semi-trailer parking is permitted with a 35:1 ratio, e.g. up to 44,100 sq ft. ¹ 8,500 sq ft is proposed (14 stalls). Up to 2-acres of outdoor storage is permitted. ² Only the 14 stalls are proposed (0.2 acres).
Impervious Surface	80% maximum. 47% proposed.

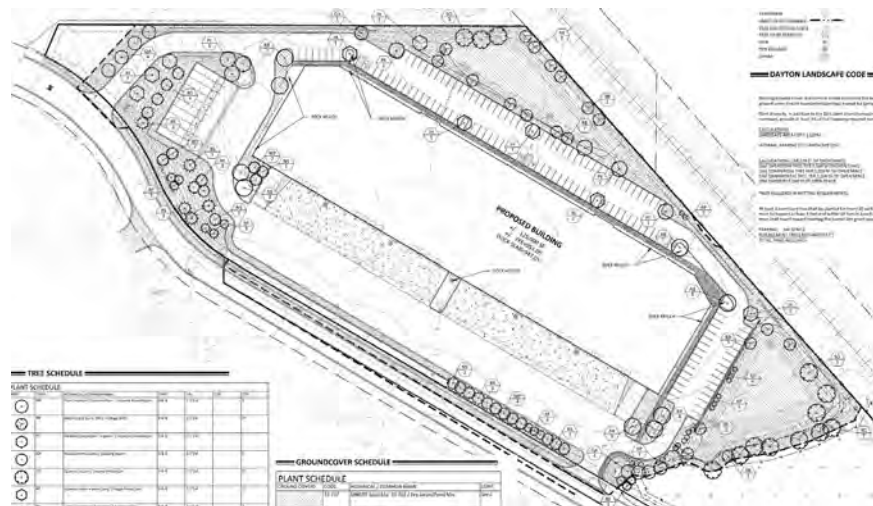
¹ City Code 1001.062, Subd 2(3)(f) (*Accessory semi-trailer parking*).

² City Code 1001.062, Sugd 2(4) (*Outdoor storage*).

Screening

Dock Doors along CSAH 81 (minor arterial) is prohibited, but otherwise requires adequate screening.^{3 4} Screening consists of existing scattered trees within railroad ROW. For comparison, the adjacent OPUS project (132,000 sq ft) was permitted with dock doors and trailer storage along CSAH 81 and Dayton Parkway. A different orientation had been considered but determined this was a more efficient layout.

Building elevations include 2 drive-in bays, 16 dock doors, and 15 knockout dock doors (up to 33 doors).



Approved 2022 Site Plan with dock doors facing Territorial Road.

Landscaping⁵

	Required	Proposed
Over-story trees	46	46
Ornamental trees	92	0
Evergreen Trees	46	46
Shrubs	1,362	1,362

Setbacks⁶

Building and parking setbacks are compliant.

60/120-DAY RULE (IF APPLICABLE):

³ City Code 1001.062, Subd 2(4)(i); *Outdoor Storage areas shall not be adjacent to roads classified as either major or minor arterials and the storage area shall not abut any land guided residential.*

⁴ City Code 1001.062, Subd 2(3)(e); *All loading and service areas shall be adequately screened from collector streets and abutting residential and business districts. Service traffic shall be separated from employee/Visitor traffic. Whenever such developments abut Residential Districts, their interior road patterns shall be arranged in such a way as to route service vehicle traffic away from residential. Screening plans shall be approved during the Site Plan review or Preliminary Plat.*

⁵ City Code 1001.24, Subd 4(3) (Landscaping requirements)

⁶ City Code 1001.063, Subd 1(6)

PLANNING COMMISSION MEETING

	60-Days	120-Days
Preliminary Plat	-	Sep 5, 2025
Site Plan	Jul 3, 2025	Sep 5, 2025

RELATIONSHIP TO COUNCIL GOALS:

Encourage Diversity and Manage Thoughtful Development

- *Encourage healthy lifespan of both residential and commercial operation*
- *Healthy Commercial Sector with services and job growth*

ROLE OF PLANNING COMMISSION:

Conduct a Public Hearing. Motion to Approve (or Deny) Preliminary Plat and Site Plan.

RECOMMENDATION:

Staff recommends Approval. It is reasonable for the dock doors to face CSAH 81 considering the 250'+ distance between CSAH 81 pavement and the dock trailer parking. Placement of the 14 trailer parking area is more subjective. If concerned, then the landscape plan should be modified to replaced proposed deciduous trees with coniferous trees along the railroad tracks.

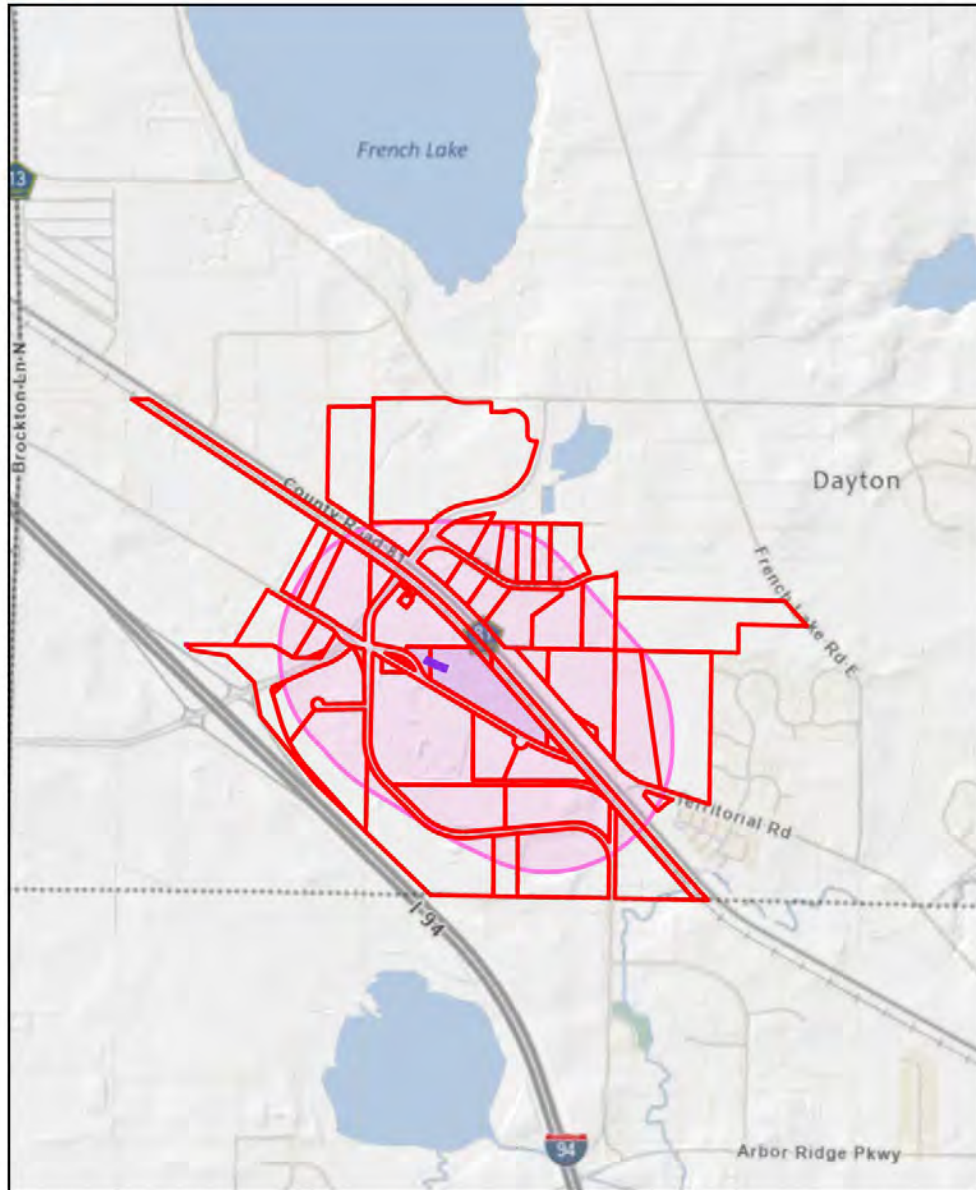
ATTACHMENT(S):

Public Hearing Notice Map
Zoning Map
Comprehensive Plan Map
Aerial Photo
Site Photos
Engineering Review
Resolution
Plan Set



Hennepin County Locate & Notify Map

Date: 5/21/2025



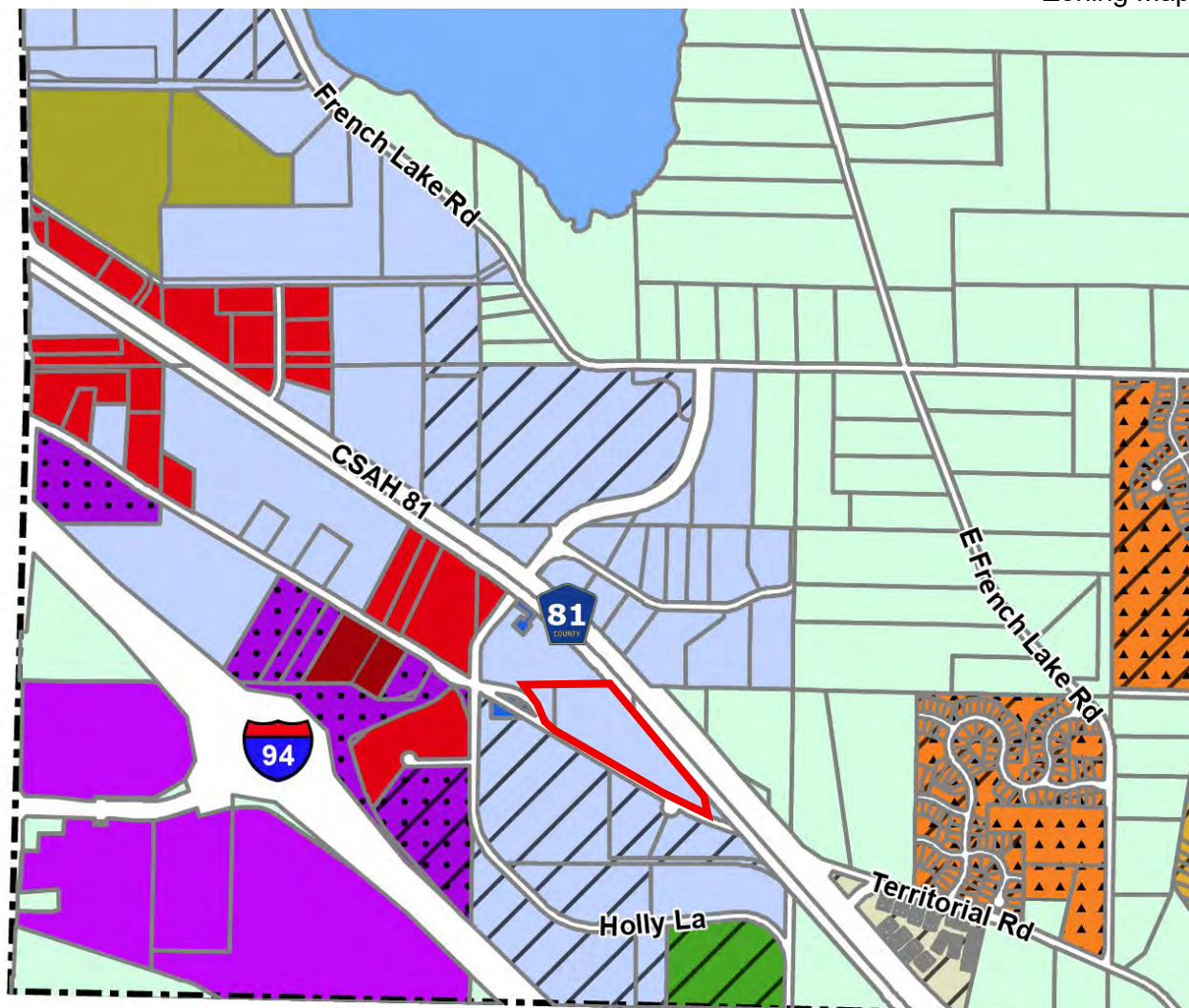
Buffer Size: 1320

Map Comments:

0 385770 1,540 Feet
[Scale bar with 5 segments]

This data (i) is furnished 'AS IS' with no representation as to completeness or accuracy; (ii) is furnished with no warranty of any kind; and (iii) is not suitable for legal, engineering or surveying purposes. Hennepin County shall not be liable for any damage, injury or loss resulting from this data.

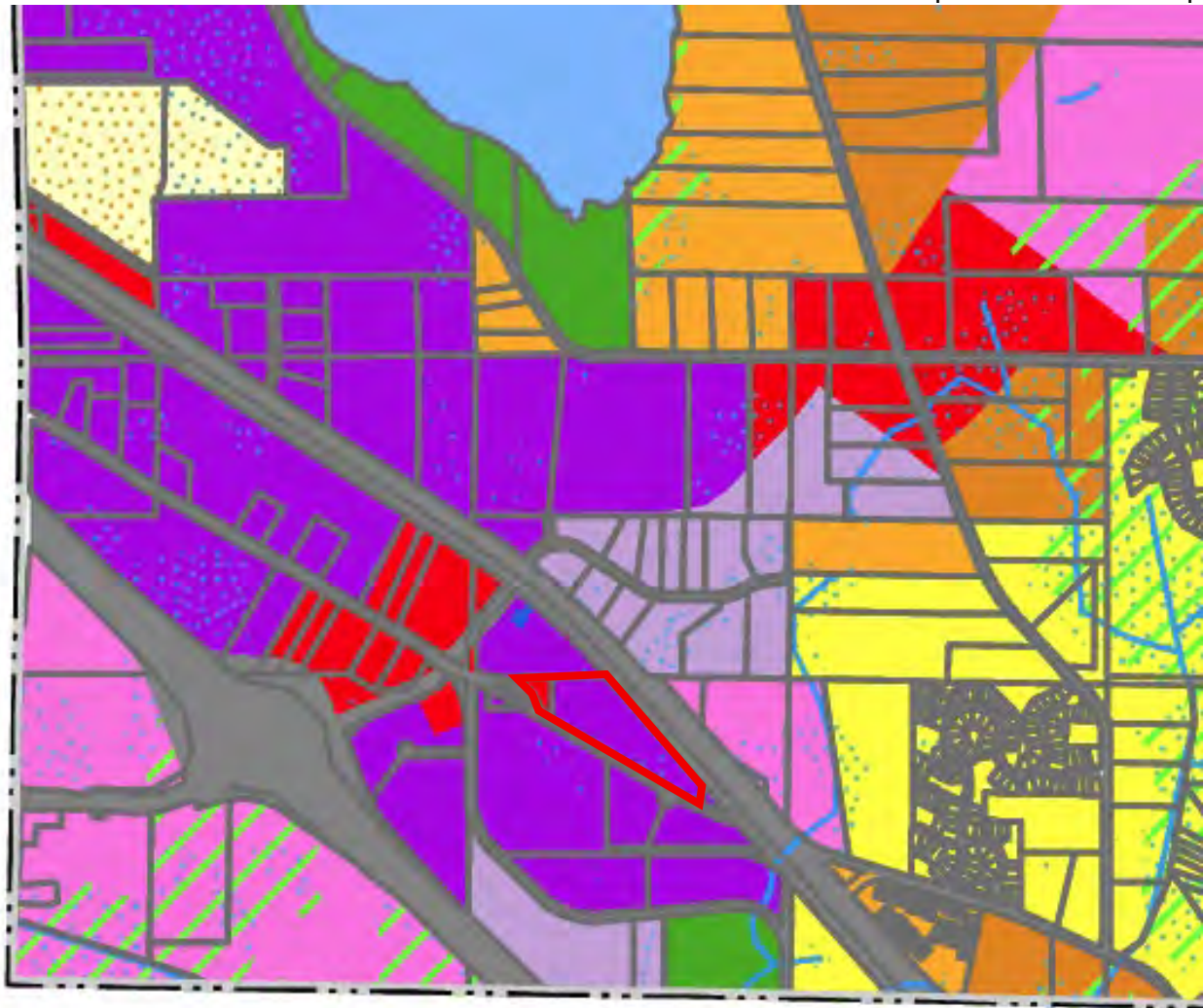
For more information, contact Hennepin County GIS Office
300 6th Street South, Minneapolis, MN 55487 / gis.info@hennepin.us



Legend

- | | |
|-------------------------------------|---|
| A-1 Agricultural District | R-1A Single Family Residential |
| A-2 Agricultural District | R-2 Single Family District (90,000 Sf, Unsewered) |
| B-2 Neighborhood Business District | R-3 Single Family and Attached Residential |
| B-3 General Business District | R-E Single Family District (5 Ac, Unsewered) |
| B-4 Commercial/ Industrial District | R-M Medium Density Residential District |
| B-P Business Park District | R-MH Mobile Home District |
| ES Essential Service District | R-O Old Village Residential |
| GMU-4 Balsam Lane | S-A Special Agriculture District |
| GMU-5 Southwest Mixed-Use | GMU-3 Historic Village |
| I-1 Light Industrial District | City Boundary |
| P-R Public Recreation District | PUD |
| R-1 Single Family District | County Parcels |

Comprehensive Plan Map



- | | | | | |
|--|----------------------------|----------------------------|-------------------|----------------------|
| Greenway Overlay | Rural Estate | Existing Mobile Home Park | Mixed Use | Public/Institutional |
| Agricultural Preserve | Low Density Residential | Master Planned Development | Business Park | Open Water |
| Existing Unsewered Low Density Residential | Medium Density Residential | Neighborhood Commercial | Industrial | Right-of-Way |
| Existing Sewered Low Density Residential | High Density Residential | Commercial | Park & Open Space | |
| | | | Golf Course | |



Site Photos



Panoramic view, SE to NW (looking west), along CSAH 81. (photo May 28, 2025).



Opus building (example of dock doors along CSAH 81). Panoramic view, SE to NW (looking west), along CSAH 81 (photo May 28, 2025).



Near SE corner of property looking SW (photo May 28, 2025).

PLANNING COMMISSION MEETING



Near RR tracks & NW corner of east wetland, looking West-Northwest. Opus in upper right corner (photo May 28, 2025).



Near SW corner of property, looking SE along Territorial Road (photo May 28, 2025).

To: Jon Sevald, City of Dayton

From: Jason Quisberg, Engineering
Nick Findley, Engineering
Josh Accola, Engineering

Dayton Interchange Business Center

Date: May 27th, 2025

Exhibits:

1. Dayton Interchange Business Center ALTA by E. G. RUD & SONS, INC., dated 5/12/2020, 1 sheet.
2. Dayton Interchange Business Center Preliminary Plat by E. G. RUD & SONS, INC., dated 5/22/2025, 1 sheet.
3. Permit Submittal for Dayton Interchange Business Center, dated 06/29/2022, by Sambatek, undated, 28 sheets.
4. Preliminary Stormwater Management Plan for Dayton Interchange Business Center, dated 5/1/2025, by Sambatek, 245 pages.

Comments:General

1. Consistent with the review process, a comment response letter shall be provided in response to the following comments provided in this Memorandum in which the applicant provides a written response to each item.
2. In addition to engineering related comments per these plans, the proposed plans are subject to additional planning, zoning, land-use, and other applicable codes of the City of Dayton.
3. There have been discussion at the planning commission level regarding the orientation of the building. These discussions should be continued and considered as a part of this submittal.
4. Final approval by the Elm Creek Watershed Management Commission must be attained before any site grading or activity may commence.
5. For any site activity (demo, grading, utilities, etc.) no closures or restrictions of any kind shall be imposed upon the public use of Territorial Road without the City's permission. Should any lane restrictions be necessary, the Contractor shall notify the City at least 48 hours in advance and provide a Traffic Control Plan.
6. Any underlying easements no longer necessary must be vacated.
7. Outlots shall be covered by drainage and utility easements.
8. Work is shown within close proximity of the property line. Ensure any necessary agreements are in place if the work shown requires encroaching on adjacent properties.
9. Pavement section detail calls out "heavy duty concrete pavement" but shows bituminous pavement.
10. Coordinate with Engineering Department for the up to date standard details.

May 27, 2025

Dayton Interchange Business Center

Jon Sevald

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Wetlands

11. Wetland buffer signs do not follow the boundary of the buffer. Revise so the signage clearing indicates the buffer area.
12. Wetland impacts appear to have already been permitted. If impacts change with the newly proposed design, it will have to go through the permitting process for the changes.

Site Plans

13. Provide stop signs where vehicles are to exit the site onto Territorial Road.
14. The eastern entrance is a different width than the western entrance. Provide additional information on the traffic configuration or other factors that caused the variance in width.
15. Revise hatching of driveway entrances to match the design laid out in the commercial concrete driveway apron with sidewalk standard detail plate.
16. The parking spaces appear to be out of compliance with the City Code. Some areas appear to impact pedestrian movement conflicting with the overhang requirements.

Erosion Control/SWPPP

17. "The temporary basin must provide live storage for a calculated volume of runoff from a two (2)-year, 24-hour storm from each acre drained to the basin or 1,800 cubic feet of live storage per acre drained, whichever is greater. Where permittees have not calculated the two (2)-year, 24-hour storm runoff amount, the temporary basin must provide 3,600 cubic feet of live storage per acre of the basins' drainage area." This is required as noted in section 14.3/4 of the MPCA Construction General Permit. As stated in previous comments, **please provide grading and outlet detail for temporary sediment basin (if different than filtration basin grading or outlet)** so contractor will understand where it will be located and how it will be graded. Currently, sediment basin sizing is not clear. Sheet C5.01 notes tributary area is 9.38 acres but calculated required live storage volume based on 6.44 acres. Additionally, outlet structure is not clear. Please provide a detail or more information so the temporary sediment basin live storage can be evaluated.
18. Please change note on SWPPP to require erosion control blankets on 4:1 slopes or steeper. Erosion control blanket must be applied on any slope's steeper than or equal to 4:1. Erosion control blanket appears to be unaccounted for. Erosion control material quantities (C5.02) do not include erosion control blanket although there are many slopes steeper or equal to 4:1.
19. Provide perimeter control around ponds in final conditions until upstream areas are stabilized.
20. Provide MPCA Construction Stormwater Permit Approval prior to construction and place permit number on SWPPP.

Grading

21. There are multiple instances where grading spot elevations do not line up with the corresponding rim elevations. Revise to ensure that the elevations are consistent across the plans.
 - a. Provide the catch basin location and rim elevations on the grading plan.

22. Grading does not tie in along the western edge of the site. Revise so all proposed contours tie into existing contours.
23. Provide details including spot elevations and slopes of the proposed pedestrian ramps showing they are within ADA compliance.
24. Ensure accessible stalls meet ADA grading requirements.
25. Grading is shown less than 0.1% in some locations along the curb line. A minimum of 0.5% slope should be maintained along curb lines and other impervious drainage paths to ensure proper drainage.
26. There are multiple locations where grading is shown within excess of 4:1 grading. It is recommended that areas to be maintained are 4:1 or slighter to allow for maintenance activities. The maximum allowed slope is 3:1.
27. Steep slopes are shown between the loading bay and proposed bituminous ramp into the building. A railing or other safety measure may be needed along the ramp.

Stormwater

28. Provide defined/graded overland EOF for both dry ponds and show/label on grading plans. EOF shall be 1 foot above HWL or higher.
29. Proposed drainage map watersheds are difficult to discern. Please bring subwatershed boundaries to the front of all other layers.
30. A 10-foot maintenance bench at a 10:1 slope or flatter should be placed beginning 1-foot above the pond's EOF outlet elevation. This bench should be tied into an access path connecting to a street, parking lot, or other point of entry for maintenance vehicles.
31. Even mean concentrations table in narrative is currently mislabeled. TSS and TP factors should be switched.
32. MIDS model currently assumes that existing phosphorus EMC is 0.737 mg/L. Please adjust to 0.533 mg/L per MN Stormwater Manual guidance.
33. Existing and proposed MIDS model only models 9.36 acres when Subcatchments containing disturbed area (subcatchments S1, S2, and S6) are closer 9.91 acres. Please model entire site or explain the reason for the discrepancy. Dayton does not have a specific removal efficiency required, but rather follows Elm Creek WMC's no net increase in TSS and TP loading.
34. Provide details on plans for Up-Flo filter to ensure it is sized appropriately
35. Stormwater Maintenance Agreement should indicate that maintenance access to ponds is via parking lot and that City has permission to enter if owner does not maintain pond.
36. Landscaping plans show trees/shrubs in access area. Remove trees/shrubs from stormwater pond access. Access must be provided for MTDs as maintenance will be critical to ensure proper functioning.
37. Provide casting table showing the proposed manhole and casting number.

Sanitary Sewer

May 27, 2025

Dayton Interchange Business Center

Jon Sevald

Page 4 of 4

- 38. Sanitary sewer pipe material to comply with the materials shown in standard detail plate GEN-12.
Based on depth, the service would be required to be SDR-35.
- 39. Sanitary sewer service is shown as 18" while the sanitary sewer located within Territorial Road is 8".
- 40. Provide 2% slope on the proposed sanitary sewer service per the building code.
- 41. Provide a 0.1' of drop in the invert of the manhole per the standard detail plates.

Watermain

- 42. Existing service stubs are provided to the site, new connections requiring the disturbing of the street will not be allowed. Revise to use existing stubs or hydrant leads (hydrant to be reinstalled in the boulevard near the connection).
- 43. It appears that there are possible locations of conflict with the proposed storm sewer. Ensure conflicts are reviewed and watermain offsets are provided in the necessary locations.
- 44. 90-degree bends are not allowed, revise to be two 45-degree bends.
- 45. Watermain connections are to be split to fire and domestic outside of the building per standard detail plate SER-07.

End of Comments

RESOLUTION No. __-2025

**CITY OF DAYTON
COUNTIES OF HENNEPIN AND WRIGHT
STATE OF MINNESOTA**

**A RESOLUTION APPROVING THE PRELIMINARY PLAT AND SITE PLAN OF
DAYTON INTERCAHNGE ADDITION**

WHEREAS, Scott Moe, Scannell Properties (Applicant) applied for approval of the Preliminary Plat of *Dayton Interchange Addition*, and Site Plan Review. The property is located at:

PID: 31-120-22-41-0010

That part of the Northeast Quarter of the Southeast Quarter of Section 31, and of the Northwest Quarter of the Sournthwest Quarter of Section 32, all in Township 120, Range 22, Hennepin County, Minnesota described as follows:

Beginning at the Quarter Section corner of the east line of said Section 31; thence westerly along the north line of said Section 31 a distance of 39 rods (643.5 feet); thence deflect left 90 degrees to the center line of public highway (Territorial Road); thence southeasterly along said center line to the intesection with a line drawn southerly, parallel to the west line of Section 32, Township 120, Range 22, from a point on the north line of said Section 32 distance 36 rods (594 feet) east from the Quarter Section corner on the west line of said Section 32; thence northerly along said parallel line to the north line of said section 32; thence westerly along said north line to the point of beginning.

EXCEPT

That part of the Northwest Quarter of the Southwest Quarter of said Section 32 described as follows: Commencing at the Quarter Section corner on the west line of said Section 32; thence running east on the north line of said Northwest Quarter of the Southwest Quarter of said Section 32, a distance of 36 rods (594 feet) to the point of beginning of the land to be described; thence south parallel with the west line of the Southwest Quarter of said Section 32, a distance of 385.75 feet to the northeasterly right of way line of Hennepin County Highway 81; thence northwesterly along said northeasterly right of way line 523.31 feet to the north line of said Southwest Quarter; thence easterly along the north line of said Southweset Quarter 350.73 feet to the point of beginning.

ALSO EXCEPT

Railroad right of way and roads.

AND

PID: 31-120-22-41-0005

Lot 1, Block 1, Wicht Industrial Park, Hennepin County, Minnesota.

WHEREAS, the 2040 Comprehensive Land Use Plan guides PID: 31-120-22-41-0005 as Commercial. The proposed use is a parking lot. PID: 31-120-22-41-0010 is guided as Industrial. It's

proposed use is an industrial related business. The proposed uses are consistent with the intent of the Comprehensive Plan (Future Land Use); and,

WHEREAS, the properties are zoned I-1 Light Industrial, intended to provide for the establishment of warehousing and light industrial development; and,

WHEREAS, the Planning Commission held a Public Hearing on June 5, 2025. A Public Hearing Notice was published by THE PRESS on May 22, 2025, and mailed to property owners within 1,320' of the project; and,

PRELIMINARY PLAT

WHEREAS, in consideration of the application, the Staff Report, public testimony, and consistent with City Code 1002.05, Subd 1(2)(f)(4) (Planning Commission Action), the Planning Commission recommended APPROVAL with the following **Findings**;

- (a) That the proposed subdivision is **NOT** in conflict with the City's Comprehensive Plan, Zoning Ordinance, Capital Improvements Program, or other policy or regulation.*
- (b) That the proposed subdivision is **NOT** in conflict with the purpose and intent of this chapter.*
- (c) That the physical characteristics of the site, including but not limited to topography, vegetation, susceptibility to erosion, and siltation, susceptibility to flooding, water storage, and retention, are such that the site **IS** suitable for the type of development or use contemplated.*
- (d) That the site **IS** physically suitable for the intensity or type of development or use contemplated.*
- (e) That the design of the subdivision or the proposed improvements are **NOT** likely to cause substantial and irreversible environmental damage.*
- (f) That the design of the subdivision or the type of improvements will **NOT** be detrimental to the health, safety or general welfare of the public.*
- (g) That the design of the subdivision or the type of improvement will **NOT** conflict with easements on record or with easements established by judgment of a court.*
- (h) That the subdivision is **NOT** premature as determined by the standards of Subsection 1002.03 of this section.*

NOW, THEREFORE, BE IT RESOLVED, in consideration of the application, Staff Report, Public Testimony, and Planning Commission recommendation, the City Council APPROVES the Preliminary Plat with the following conditions:

1. Prior to Final Plat approval, applicable plans shall be revised to comply with the City Engineer's memo, dated May 27, 2025.
2. Prior to Final Plat approval, the project shall obtain approvals from Elm Creek Watershed District.
3. Prior to Final Plat approval, plans shall be revised to comply with City Code 1001.062, Subd 1(10) (*Pedestrian environment*).
4. Prior to Final Plat approval, plans shall be revised to connect the sidewalk in front of the building to the public sidewalk along Territorial Road (City Code 1001.19, Subd 2(6)(2)(b)).

5. Prior to Final Plat approval, Landscape plans shall be revised to comply with City Code 1001.24, Subd 4(3) regarding the number of plantings (e.g. ornamental trees).

SITE PLAN AND BUILDING PLAN

WHEREAS, City Code 1001.25, Subd 3 requires a Final Site and Building Plan to be approved by the City Council prior to the issuance of any permits for new development or building construction/expansion in any non-residential zoning district. Dayton Interchange Addition is a new development subject to a Final Site Plan and Building Plan; and,

NOW, THEREFORE, BE IT RESOLVED, that the City of Dayton City Council Approves the Site Plan and Building Plan with the following conditions:

1. Building façade shall include minimum of 25% window coverage on each front that faces a street (e.g. Territorial Road), consistent with City Code 1001.062, Subd 1(a)(3). Building elevation plans shall detail the % of window coverage.

Adopted by the City Council of the City of Dayton on this 24th day of June, 2025.

Dennis Fisher, Mayor

ATTEST:

Amy Benting, City Clerk

Motion by _____. *Second by* _____.

Resolution **Approved**

ALTA/NSPS LAND TITLE SURVEY

~for~ SCANNELL PROPERTIES
~of~ Leroy and Selma Stern Parcel
17XXX Territorial Road
Dayton, MN

CERTIFICATION

I hereby certify to Scannell Properties, LLC, an Indiana limited liability company, Leroy F. Stern and Selma E. Stern, as joint tenants, and to First American Title Insurance Company National Commercial Services, as issuing agent for First American Title Insurance Company that this is a survey of:

Real property in the City of Dayton, County of Hennepin, State of Minnesota, described as follows:

That part of the Northeast Quarter of the Southeast Quarter of Section 31, and of the Northwest Quarter of the Southwest Quarter of Section 32, all In Township 120, Range 22, Hennepin County, Minnesota described as follows:

Beginning at the Quarter Section corner on the East line of said Section 31; thence westerly along the North line of said Section 31, a distance of 39 rods (643.5 feet); thence deflect left 90 degrees to the center line of public highway (Territorial Road); thence southeasterly along said center line to the intersection with a line drawn southerly, parallel to the West line of Section 32, Township 120, Range 22, from a point on the North line of said Section 32, distant 36 rods (594 feet) east from the Quarter Section corner on the West line of said Section 32; thence northerly along said parallel line to the North line of said Section 32; thence westerly along said North line to the point of beginning.

EXCEPT

That part of the Northwest Quarter of the Southwest Quarter of said Section 32 described as follows:

Commencing at the Quarter Section corner on the West line of said Section 32; thence running east on the North line of said Northwest Quarter of the Southwest Quarter of said Section 32, a distance of 36 rods (594 feet) to the point of beginning of the land to be described; thence south parallel with the West line of the Southwest Quarter of said Section 32, a distance of 385.75 feet to the northeasterly right of way line of Hennepin County Highway 81; thence northwesterly along said northeasterly right of way line 523.31 feet to the North line of said Southwest Quarter; thence easterly along the North line of said Southwest Quarter 350.73 feet to the point of beginning.

ALSO EXCEPT

Railroad right of way and roads.

and Is based upon information found in the commitment for title insurance prepared by First American Title Insurance Company National Commercial Services, as Issuing agent for First American Title Insurance Company, File No. NCS-997342-CH12, dated effective January 17, 2020 at 8:00 A.M., and that all easements, if any, listed in Schedule B-II on the herein referenced commitment for title insurance, are shown hereon; and that this map or plat and the survey on which It is based were made (i) in accordance with "Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys," jointly established and adopted by ALTA and NSPS in 2016, and (ii) pursuant to the Accuracy Standards as adopted by ALTA and NSPS and in effect on the date of this certification, the undersigned further certifies that in my professional opinion, as a land surveyor licensed in the State of Minnesota, the Relative Positional Accuracy of this survey does not exceed that which is specified therein and includes Items 1, 2, 3, 4, 5, 6, 8, 11 (location of utilities per visible, above ground on-site observation and available mapping), 13, 16, 17, 18, 19, 20 of Table A thereof. The field work was completed on February 5th, 2020, February 12th, 2020, and March 24th, 2020.

I further certify that this survey was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota.

Date: 5/12/2020

E.G. Rud & Sons, Inc.

PRELIMINARY

Jason E. Rud, Land Surveyor
Minnesota License No. 41578

GENERAL NOTES

- Fee ownership is vested in Leroy F. Stern and Selma E. Stern, as joint tenants. Parcel ID Number: 31-120-22-41-0010.
- Address of the surveyed premises: No address is currently assigned.
- Bearings shown hereon are based on the Hennepin County Coordinate System.
- Surveyed premises shown on this survey map are in Flood Zone X (Areas determined to be outside the 0.2% annual chance floodplain.), according to Flood Insurance Rate Map Community No. 270157 Panel No. 0045 Suffix F by the Federal Emergency Management Agency, effective date November 4th, 2016.
- Boundary area of the surveyed premises: 564,450± sq. ft. (12.96 acres) [Area Includes Territorial Road R.O.W.].
- A zoning endorsement letter was not furnished to the surveyor. A search of the City of Dayton's web site indicates that the surveyed premises shown on this survey is currently zoned B-4 (Commercial/Industrial District). Under the applicable zoning regulations, the current setbacks are:

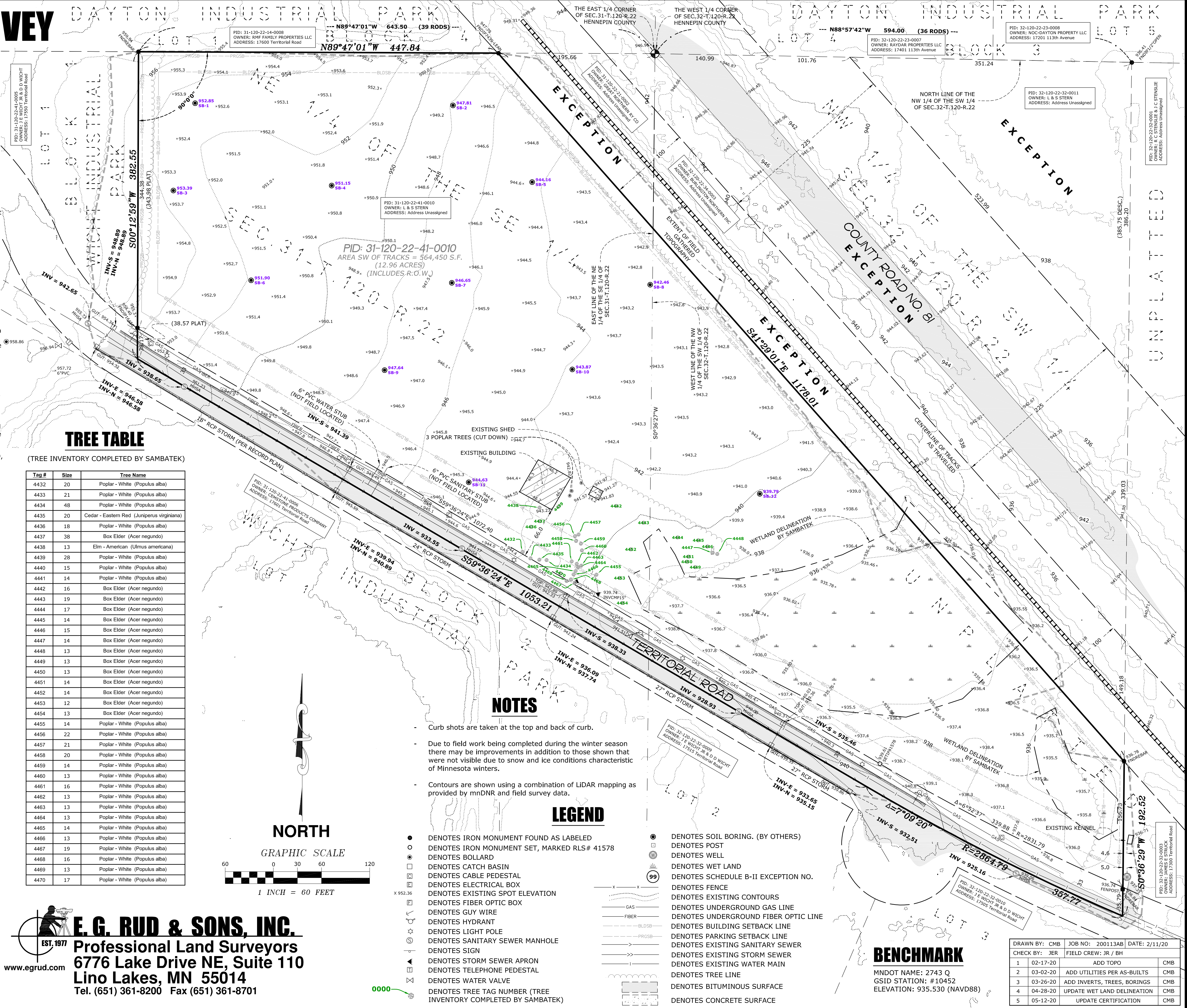
Building: Front = 50 (60) feet
Side = 25 (50) feet
Rear = 20 (50) feet

*Setbacks in parentheses apply adjacent to R-1 - RH Residential Districts.

Parking: Front = 20 (20) feet
Side = 5 (20) feet
Rear = 15 (20) feet

For additional information contact the Planning Department at the City of Dayton at (763)-712-3221.

- There are 0 marked or striped parking areas onsite. (0 regular, 0 handicapped)
- The surveyed premises adjoins Territorial Road, a public street.
- Location of utilities existing on or serving the surveyed property determined by:
 - Observed evidence collected pursuant to Section 5.E.iv.
 - Record drawings provided by the City of Dayton's engineering department.
 - Markings requested by E.G. Rud and Sons, Inc. per Gopher State One Call Ticket No. 200350293.Excavations were not made during the process of this survey to locate underground utilities and/or structures. The location of underground utilities and/or structures may vary from locations shown hereon and additional underground utilities and/or structures may be encountered. Contact Gopher State One Call Notification Center at (651) 454-0002 for verification of utility type and field location, prior to excavation.
- Subsurface and environmental conditions were not examined or considered during the process of this survey. No statement is made concerning the existence of underground or overhead containers or facilities that may affect the use or development of the surveyed premises.
- First American Title Insurance Company National Commercial Services, as Issuing agent for First American Title Insurance Company, Commitment No. NCS-997342-CH12, Schedule B-II Survey Related Exceptions:
 - Easements, or claims of easement, not shown by the Public Records.
(Surveyor's Note: Improvements were located and are shown hereon.)
- Application and Authorization for Deferral of Special Assessments dated November 5, 2007, recorded June 11, 2008 as Document No. 9145505.
(Surveyor's Note: Not plottable, not survey related.)
- Certificate to Registrar of Titles and County Recorder of Deferred Assessments dated November 20, 2019, recorded December 2, 2019 as Document No. A10730256.
(Surveyor's Note: Not plottable, not survey related.)
- Subject to Territorial Road as laid out and travelled.
(Surveyor's Note: Right-of-way for Territorial Road is shown per plat of DAYTON INDUSTRIAL PARK.)



PRELIMINARY PLAT

~of~ DAYTON INTERCHANGE
BUSINESS CENTER
~for~ SCANNELL PROPERTIES #631

EXISTING LEGAL DESCRIPTION

(Per Hennepin County Tax Information)

That part of the Northeast Quarter of the Southeast Quarter of Section 31, and of the Northwest Quarter of the Southwest Quarter of Section 32, all in Township 120, Range 22, Hennepin County, Minnesota described as follows:

Beginning at the Quarter Section corner on the east line of said Section 31; thence westerly along the north line of said Section 31 a distance of 39 rods (643.5 feet); thence deflect left 90 degrees to the center line of public highway (Territorial Road); thence southeasterly along said center line to the intersection with a line drawn southerly, parallel to the west line of Section 32, Township 120, Range 22, from a point on the north line of said Section 32 distant 36 rods (594 feet) east from the Quarter Section corner on the west line of said Section 32; thence northerly along said parallel line to the north line of said section 32; thence westerly along said north line to the point of beginning.

EXCEPT

That part of the Northwest Quarter of the Southwest Quarter of said Section 32 described as follows: Commencing at the Quarter Section corner on the west line of said Section 32; thence running east on the north line of said Northwest Quarter of the Southwest Quarter of said Section 32, a distance of 36 rods (594 feet) to the point of beginning of the land to be described; thence south parallel with the west line of the Southwest Quarter of said Section 32, a distance of 385.75 feet to the northeasterly right of way line of Hennepin County Highway 81; thence northwesterly along said northeasterly right of way line 523.31 feet to the north line of said Southwest Quarter; thence easterly along the north line of said Southwest Quarter 350.73 feet to the point of beginning.

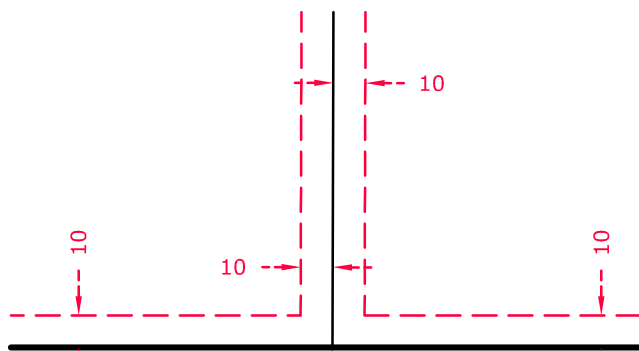
ALSO EXCEPT

Railroad right of way and roads.

AND

Lot 1, Block 1, WICHT INDUSTRIAL PARK, Hennepin County, Minnesota.

DRAINAGE AND UTILITY EASEMENTS ARE SHOWN THUS:



BEING 10 FEET IN WIDTH AND ADJOINING SIDE LOT LINES
AND BEING 12 FEET IN WIDTH AND ADJOINING RIGHT-OF-WAY
LINES UNLESS OTHERWISE SHOWN ON THIS PLAT.

LEGEND

- DENOTES IRON MONUMENT FOUND AS LABELED
- DENOTES IRON MONUMENT SET, MARKED RLS# 41578
- ⊙ DENOTES BOLLARD
- DENOTES CATCH BASIN
- ⊞ DENOTES CABLE PEDESTAL
- ⊞ DENOTES ELECTRICAL BOX
- ⊞ DENOTES EXISTING SPOT ELEVATION
- ⊞ DENOTES FIBER OPTIC BOX
- ⊞ DENOTES GUY WIRE
- ⊞ DENOTES HYDRANT
- ⊞ DENOTES LIGHT POLE
- ⊞ DENOTES SANITARY SEWER MANHOLE
- ⊞ DENOTES SIGN
- ⊞ DENOTES STORM SEWER APRON
- ⊞ DENOTES TELEPHONE PEDESTAL
- ⊞ DENOTES WATER VALVE
- DENOTES SOIL BORING. (BY OTHERS)

- DENOTES POST
- ⊞ DENOTES WELL
- ⊞ DENOTES WET LAND
- ⊞ DENOTES FENCE
- ⊞ DENOTES EXISTING CONTOURS
- ⊞ DENOTES UNDERGROUND GAS LINE
- ⊞ DENOTES UNDERGROUND FIBER OPTIC LINE
- ⊞ DENOTES BUILDING SETBACK LINE
- ⊞ DENOTES PARKING SETBACK LINE
- ⊞ DENOTES EXISTING SANITARY SEWER
- ⊞ DENOTES EXISTING STORM SEWER
- ⊞ DENOTES EXISTING WATER MAIN
- ⊞ DENOTES PROPOSED STORM SEWER
- ⊞ DENOTES TREE LINE
- ⊞ DENOTES BITUMINOUS SURFACE
- ⊞ DENOTES CONCRETE SURFACE
- ⊞ DENOTES PRELIMINARY WET LAND AS DELINEATED BY SAMBATEK.

EXISTING ZONING INFORMATION

PROPERTY IS CURRENTLY ZONED I-1 (LIGHT INDUSTRIAL DISTRICT)

MINIMUM LOT DIMENSIONS

(PER DAYTON CITY CODE)

MINIMUM LOT SIZE = 1 ACRE
MINIMUM LOT WIDTH = 150 FEET
MINIMUM LOT DEPTH = 150 FEET
MAXIMUM IMPERVIOUS COVERAGE = 80%

MINIMUM BUILDING SETBACKS

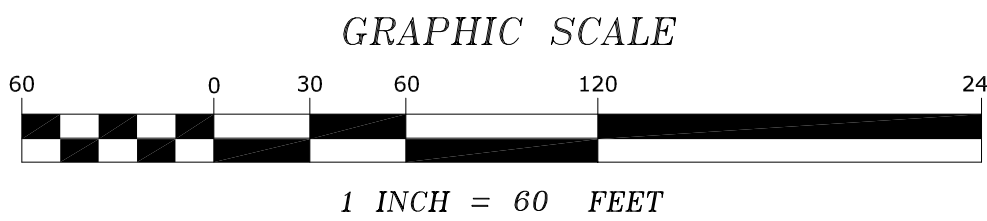
(PER DAYTON CITY CODE)

FRONT = 30 (50) feet - Plus 1 foot for every 1 foot of building height over 30 feet (maximum setback of 80 feet)
SIDE YARD = 15 (40) FEET
SIDE YARD (STREET) = 30 (40) FEET
REAR YARD = 15 (50) FEET

*Setbacks in parentheses apply adjacent to all Residential Districts. A 20 foot setback is required for any structure or parking adjacent to any other Residential District.

PROPOSED LOT AREA INFORMATION

NAME	AREA
LOT 1, BLOCK 1	566,234 S.F. (13.00 ACRES)
TERRITORIAL ROAD	46,585 S.F. (1.07 ACRES)



NOTES

- Curb shots are taken at the top and back of curb.
- Due to field work being completed during the winter season there may be improvements in addition to those shown that were not visible due to snow and ice conditions characteristic of Minnesota winters.
- Contours are shown using a combination of LIDAR mapping as provided by mndnr and field survey data.
- Site plan and proposed improvements provided by Sambatek.
- See separate Certificate of Survey for existing conditions and tree inventory.

BENCHMARK

MNDOT NAME: 2743 Q
GSID STATION: #10452
ELEVATION: 935.530 (NAVD88)

DRAWN BY: CMB		JOB NO: 200113AB	DATE: 3/30/20
CHECK BY: JER		FIELD CREW: JR / BH	
1	4-1-20	ADD EXISTING CONTOURS	CMB
2	4-28-20	UPDATE WET LAND DELINEATION	CMB
3	9-28-21	UPDATE BOUNDARY	CMB
4	3-28-22	UPDATE SITE PLAN INFO	CMB
5	5/22/2025	UPDATE SITE PLAN INFO	BPN

E.G. RUD & SONS, INC.
EST. 1977
Professional Land Surveyors
6776 Lake Drive NE, Suite 110
Lino Lakes, MN 55014
Tel. (651) 361-8200 Fax (651) 361-8701

NORTH

I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Registered Land Surveyor under the laws of the State of Minnesota.

JASON E. RUD
Date: 5/22/2025 License No. 41578

Martic McCormick, County Recorder By _____ Deputy

C.R. DOC. NO.



24.15 (LWS TECH) | TREVOR CONWAY | 4/29/2025 3:04:30 PM
L:\PROJECTS\53747\CAD\CIVIL\SHEETS\53747-CL01-TITLE.DWG-CL01 TITLE SHEET

CONSULTANT CONTACT LIST:

DEVELOPER/OWNER
SCANNELL PROPERTIES
294 GROVE LANE EAST, SUITE 140
WAYZATA, MN 55391
TEL 763-331-8854
DANS@SCANNELLPROPERTIES.COM
CONTACT: DAN SALZER

CIVIL ENGINEER
SAMBATEK
12800 WHITEWATER DRIVE, SUITE 300
MINNETONKA, MN 55343
TEL 763-259-6674
TCONWAY@SAMBATEK.COM
CONTACT: TREVOR CONWAY

ARCHITECT
MOHAGEN HANSEN
1000 TWELVE OAKS CENTER DRIVE, SUITE 200
WAYZATA MN, 55391
TEL 952-426-7470
SPAETZEL@MOHAGENHANSEN.COM
CONTACT: STEVE PAETZEL

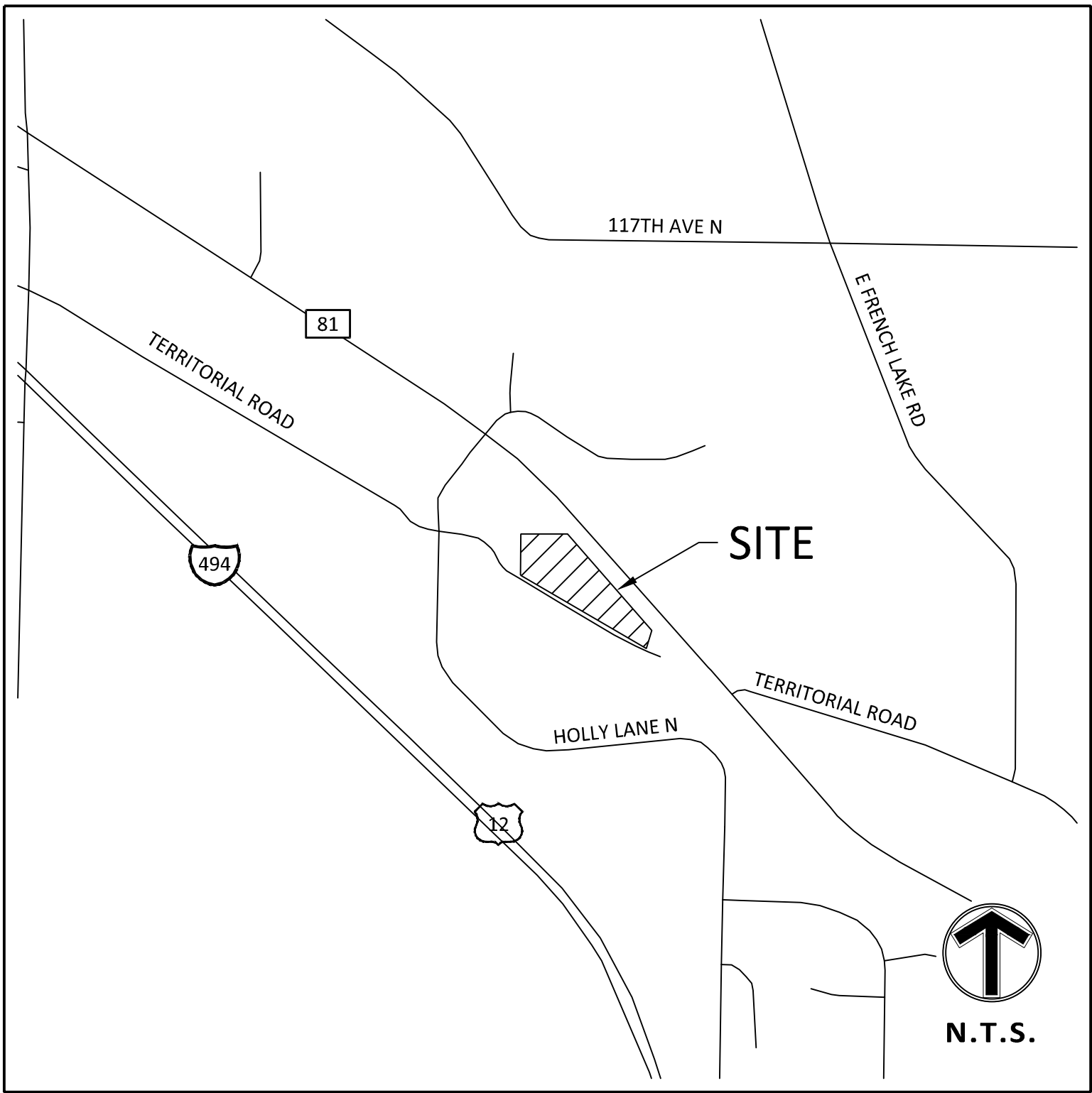
SURVEYOR
E.G. RUD AND SONS
6776 LAKE DRIVE NE, SUITE 110
LINO LAKES, MN 55014
TEL 651-361-8200
JRUD@EGRUD.COM
CONTACT: JASON RUD

GEOTECHNICAL
AMERICAN ENGINEERING TESTING (AET)
550 CLEVELAND AVENUE NORTH
ST. PAUL, MN 55114
TEL 651-523-1272
MNELSON@AMENGTEST.COM
CONTACT: MITCHELL NELSON

LANDSCAPE ARCHITECT
SAMBATEK
12800 WHITEWATER DRIVE, SUITE 300
MINNETONKA, MN 55343
TEL 763-259-6684
JWORKMAN@SAMBATEK.COM
CONTACT: JOHNNIE WORKMAN

Permit Submittal
for
DAYTON INTERCHANGE
BUSINESS CENTER
Dayton, Minnesota

Presented by:
SCANNELL PROPERTIES



VICINITY MAP
NO SCALE

SHEET INDEX

SHEET NUMBER	SHEET TITLE	REVISION
C1.01	TITLE SHEET	
C2.02	DEMOLITION PLAN	
C3.01	OVERALL SITE PLAN	
C3.02	SITE PLAN	
C3.03	SITE PLAN	
C3.04	SITE PLAN	
C4.01	OVERALL GRADING PLAN	
C4.02	GRADING PLAN	
C4.03	GRADING PLAN	
C4.04	GRADING NOTES	
C5.01	PHASE 1 EROSION CONTROL PLAN	
C5.02	PHASE 2 EROSION CONTROL PLAN	
C5.03	EROSION CONTROL NOTES	
C5.04	EROSION CONTROL DETAILS	
C5.05	SWPPP	
C5.06	SWPPP	
C6.01	UTILITY PLAN	
C6.02	UTILITY NOTES	
C9.01	DETAILS	
C9.02	DETAILS	
C9.03	DETAILS	
C9.04	DETAILS	
C9.05	DETAILS	
C9.06	DETAILS	
L0.01	TREE PRESERVATION PLAN	
L1.01	TREE AND GROUNDCOVER PLANTING PLAN	
L1.02	SHRUB PLANTING PLAN	
L1.03	LANDSCAPE NOTES & DETAILS	

GOVERNING SPECIFICATIONS

CITY OF DAYTON SPECIFICATIONS (2008)
CITY ENGINEER'S ASSOCIATION OF MINNESOTA STANDARD SPECIFICATIONS (2018)
MNDOT STANDARD SPECIFICATIONS FOR CONSTRUCTION (2020 EDITION)
MN PLUMBING CODE (2020)

NO	DATE	BY	CKD	APPR	COMMENT
© 2021 Sambatek					

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Print Name: ERIK W. MILLER, PE

Date License # 41326

PRELIMINARY

DESIGN REVIEW

PERMIT SUBMITTAL

CONSTRUCTION DOCUMENTS

DRAWN BY
CDC

DESIGNED BY
TC

CHECKED BY
TC

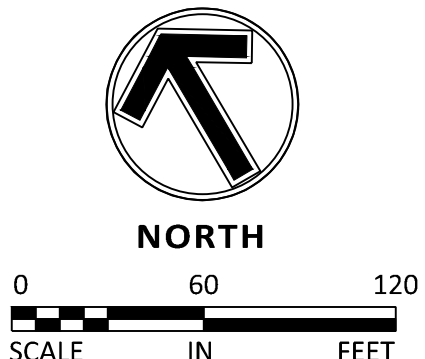
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53747

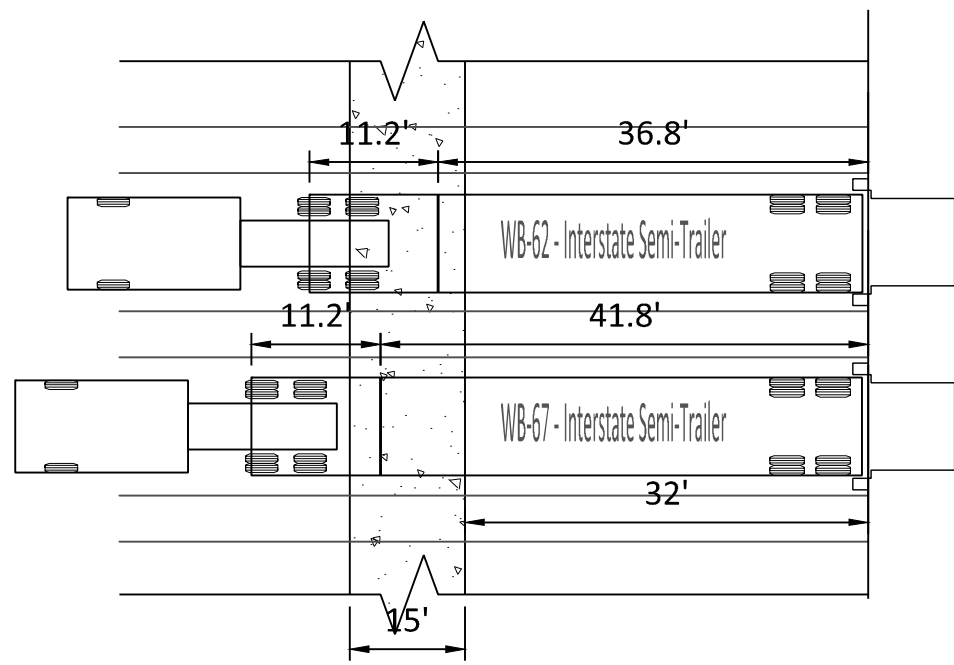
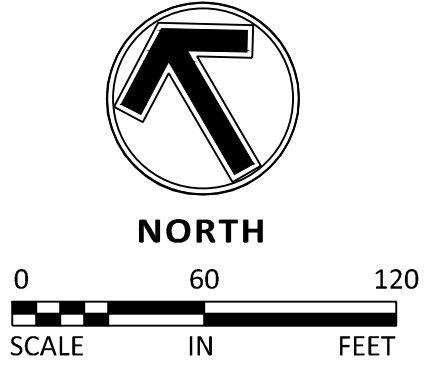


TITLE SHEET

SCANNELL PROPERTIES
DAYTON INTERCHANGE BUSINESS CENTER
PERMIT SUBMITTAL
DAYTON, MN

SHEET
C1.01
1 OF 28
REV.





N.T.S.

IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH
CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

1. ALL DIMENSIONS ARE ROUNDED TO THE NEAREST TENTH FOOT.
2. ALL DIMENSIONS SHOWN ARE TO THE FACE OF CURB TO FACE OF CURB UNLESS OTHERWISE NOTED.
3. CONTRACTOR SHALL REVIEW PAVEMENT GRADIENT AND CONSTRUCT "GUTTER OUT" WHERE WATER DRAINS AWAY FROM CURB. ALL OTHER AREAS SHALL BE CONSTRUCTED AS "GUTTER IN" CURB. COORDINATE WITH GRADING CONTRACTOR.
4. ALL AREAS ARE ROUNDED TO THE NEAREST SQUARE FOOT.
5. ALL PARKING STALLS TO BE 9' IN WIDTH AND 18' IN LENGTH UNLESS OTHERWISE INDICATED.
6. CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF EXIT PORCHES, RAMPS, PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.
7. SEE ARCHITECTURAL PLANS FOR MONUMENT SIGN DETAILS
8. SEE ARCHITECTURAL PLANS FOR LIGHT POLE FOUNDATION DETAIL AND FOR EXACT LOCATIONS OF LIGHT POLES.
9. REFER TO FINAL PLAT FOR LOT BOUNDARIES, LOT NUMBERS, LOT AREAS, AND LOT DIMENSIONS.
10. ALL GRADIENTS ON SIDEWALKS ALONG THE ADA ROUTE SHALL HAVE A MAXIMUM LONGITUDINAL SLOPE OF 5% (1:20), EXCEPT AT CURB RAMPS (1:12), AND A MAXIMUM CROSS SLOPE OF 1.50% (1:67). THE MAXIMUM SLOPE IN ANY DIRECTION ON AN ADA PARKING STALL OR ACCESS AISLE SHALL BE 2.08% (1:48). THE CONTRACTOR SHALL REVIEW AND VERIFY THE GRADIENT IN THE FIELD ALONG THE ADA ROUTES PRIOR TO PLACING CONCRETE OR BITUMINOUS PAVEMENT. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY IF THERE IS A DISCREPANCY BETWEEN THE GRADIENT IN THE FIELD VERSUS THE DESIGN GRADIENT AND COORDINATE WITH GRADING CONTRACTOR.
11. "NO PARKING" SIGNS SHALL BE PLACED ALONG ALL DRIVEWAYS AS REQUIRED BY CITY.
12. STREET NAMES ARE SUBJECT TO APPROVAL BY THE CITY.

GROSS SITE AREA	612,834 SF	14.07 AC
<u>BUILDING SETBACKS</u>		
FRONT YARD		50 FEET
REAR YARD		20 FEET
SIDE YARD		25 FEET
<u>PARKING SETBACKS</u>		
FRONT YARD		20 FEET
REAR YARD		15 FEET
SIDE YARD		5 FEET
MINIMUM LOT SIZE		43,560 SF
MAXIMUM IMPERVIOUS (80%)		490,267 SF
PROPOSED IMPERVIOUS (47%)		290,342 SF
MAXIMUM BUILDING FOOT PRINT (50%)		306,417 SF
PROPOSED BUILDING FOOT PRINT (20%)		125,037 SF
<u>ZONING</u>		
EXISTING ZONING		B-4
PROPOSED ZONING		I-1
<u>PARKING SUMMARY</u>		
PROPOSED AUTO PARKING PROVIDED		144 SPACES
PROPOSED TRUCK PARKING PROVIDED		14 SPACES
REQUIRED ADA SPACES		6 SPACES
PROVIDED ADA SPACES		6 SPACES

<u>AVERAGE BUFFER AREA REQUIRED (25 FEET OR 40 FEET ADJACENT TO 3:1)</u>		
WETLAND 1	28,054 SF	0.64 AC
WETLAND 2	11,140 SF	0.26 AC
TOTAL	34,469 SF	0.80 AC
 <u>AVERAGE BUFFER AREA PROVIDED</u>		
WETLAND 1	28,087 SF	0.64 AC
WETLAND 2	11,140 SF	0.26 AC
TOTAL	34,751 SF	0.80 AC
AREA OF WETLAND 1 IMPACTED	2,719 SF	0.06 AC

	PROPOSED	EXISTING		
PROPERTY LIMIT			STANDARD DUTY ASPHALT PAVING	
CURB & GUTTER			HEAVY DUTY ASPHALT PAVING	
EASEMENT			CONCRETE PAVING	
BUILDING			CONCRETE SIDEWALK	
RETAINING WALL			PAVEMENT BY OTHERS (SEE ARCHITECTURAL PLANS)	
WETLAND LIMITS			WETLAND BUFFER AREA	
TREE LINE			POND MAINTENANCE	
SAWCUT LINE			WETLAND IMPACT	
PIPE BOLLARD				
NUMBER OF PARKING STALLS PER ROW				
KEY NOTE				
TURF REINFORCEMENT MAT				

TOTAL	125,037	SF GFA		CODE REQUIRED PARKING	
90%	112,533	SF WAREHOUSE	1 SPACE / 2,000 SF	56.27	SPACES
10%	12,504	SF OFFICE	1 SPACE / 200 SF	62.52	SPACES
				119	TOTAL SPACES REQUIRED

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

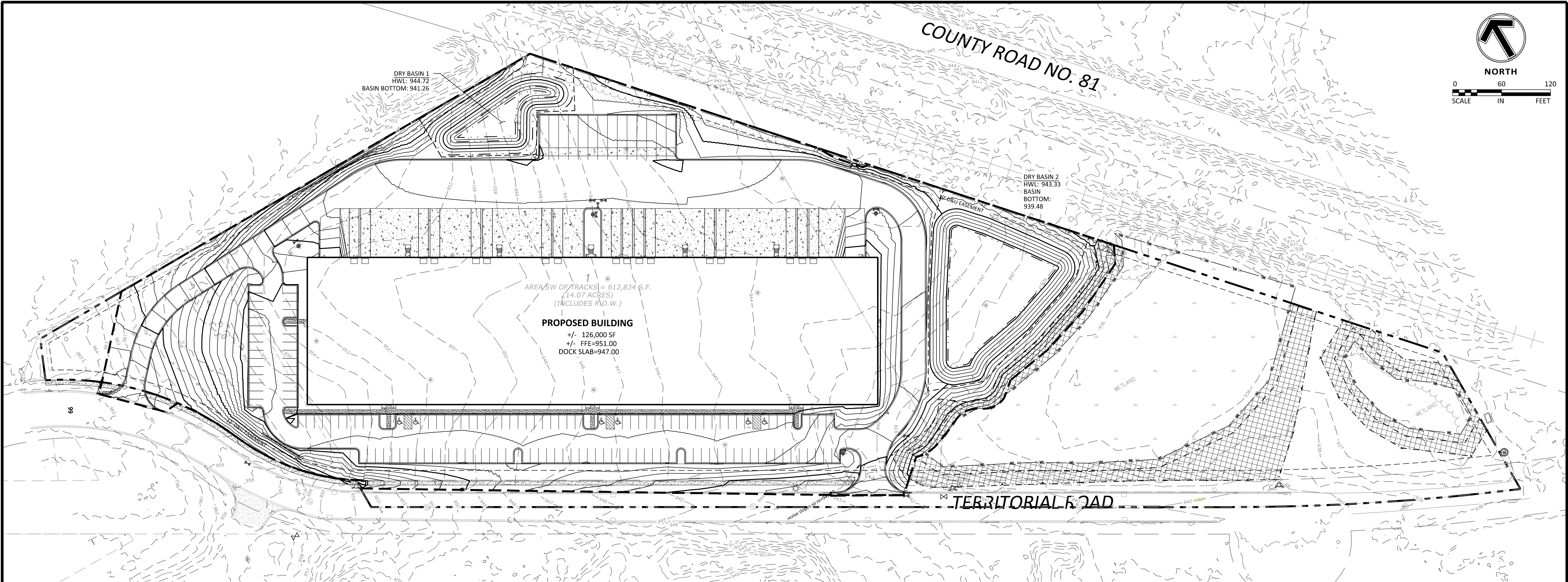
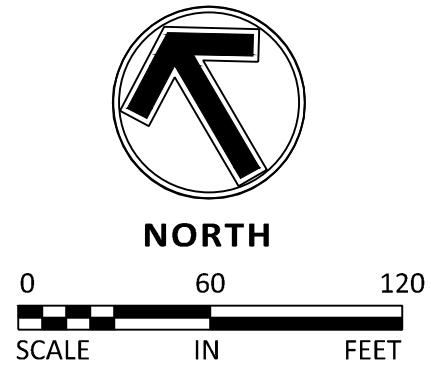
Print Name: _____ ERIK W. MILLER, PE

Date _____ License # _____ 41326

DRAWN BY CDC
DESIGNED BY TC
CHECKED BY TC
PROJECT NO. 53747



SHEET
C3.01
3 OF 28
REV.



LEGEND			
PROPOSED	EXISTING		
		BOUNDARY LINE	
		CONCRETE CURB	
		STORM SEWER	
		DRAINTILE	
		BUILDING LINE	
		RETAINING WALL	
		CONTOUR	
		WETLAND	
		TREE LINE	
		SPOT ELEVATIONS	
		RIPRAP	
		OVERFLOW ELEV.	
		SOIL BORING	
		TOP OF CURB	
		GUTTER LINE	
		BEGIN CURB TRANSITION	
		END CURB TRANSITION	

THE SUBSURFACE UTILITY INFORMATION SHOWN ON THESE PLANS IS A UTILITY QUALITY LEVEL D. THIS QUALITY LEVEL WAS DETERMINED ACCORDING TO THE GUIDELINES OF ASCE/CI 38-02, TITLED "STANDARD GUIDELINES FOR THE COLLECTION AND DEPICTION OF EXISTING SUBSURFACE UTILITY DATA." THE CONTRACTOR AND/OR SUBCONTRACTORS SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, BY CONTACTING THE NOTIFICATION CENTER (GOPHER STATE ONE FOR MINNESOTA). THE CONTRACTOR AND/OR SUBCONTRACTOR AGREE TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES, WHICH MIGHT BE OCCASIONED BY HIS OR HER FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UTILITIES (UNDERGROUND AND OVERHEAD).

IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

NO	DATE	BY	CKD	APPR	COMMENT

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly licensed Professional Engineer under the laws of the State of Minnesota.

Print Name: ERIK W. MILLER, PE

Date License # 41326

PRELIMINARY

DESIGN REVIEW

PERMIT SUBMITTAL

CONSTRUCTION DOCUMENTS

DRAWN BY
CDC

DESIGNED BY
TC

CHECKED BY
TC

PROJECT NO.
53747



OVERALL GRADING PLAN

SCANNELL PROPERTIES
DAYTON INTERCHANGE BUSINESS CENTER
PERMIT SUBMITTAL
DAYTON, MN

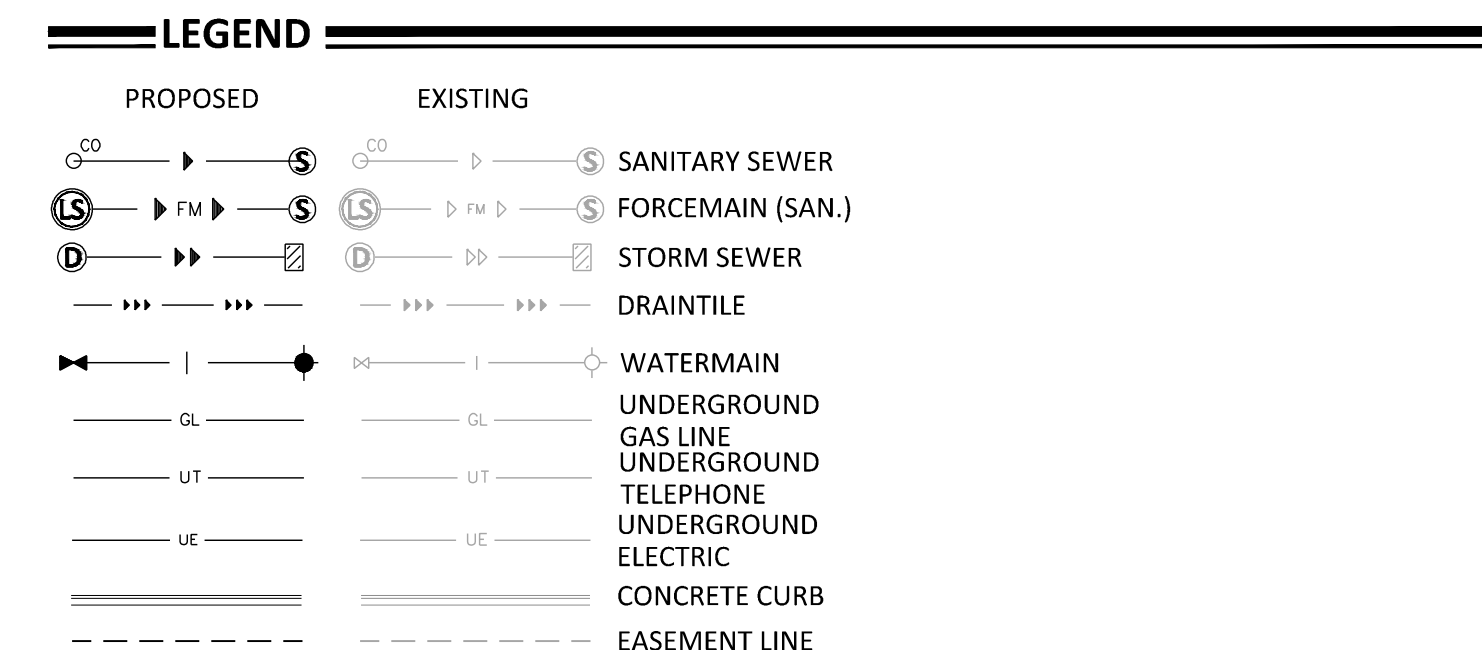
SHEET

C4.01

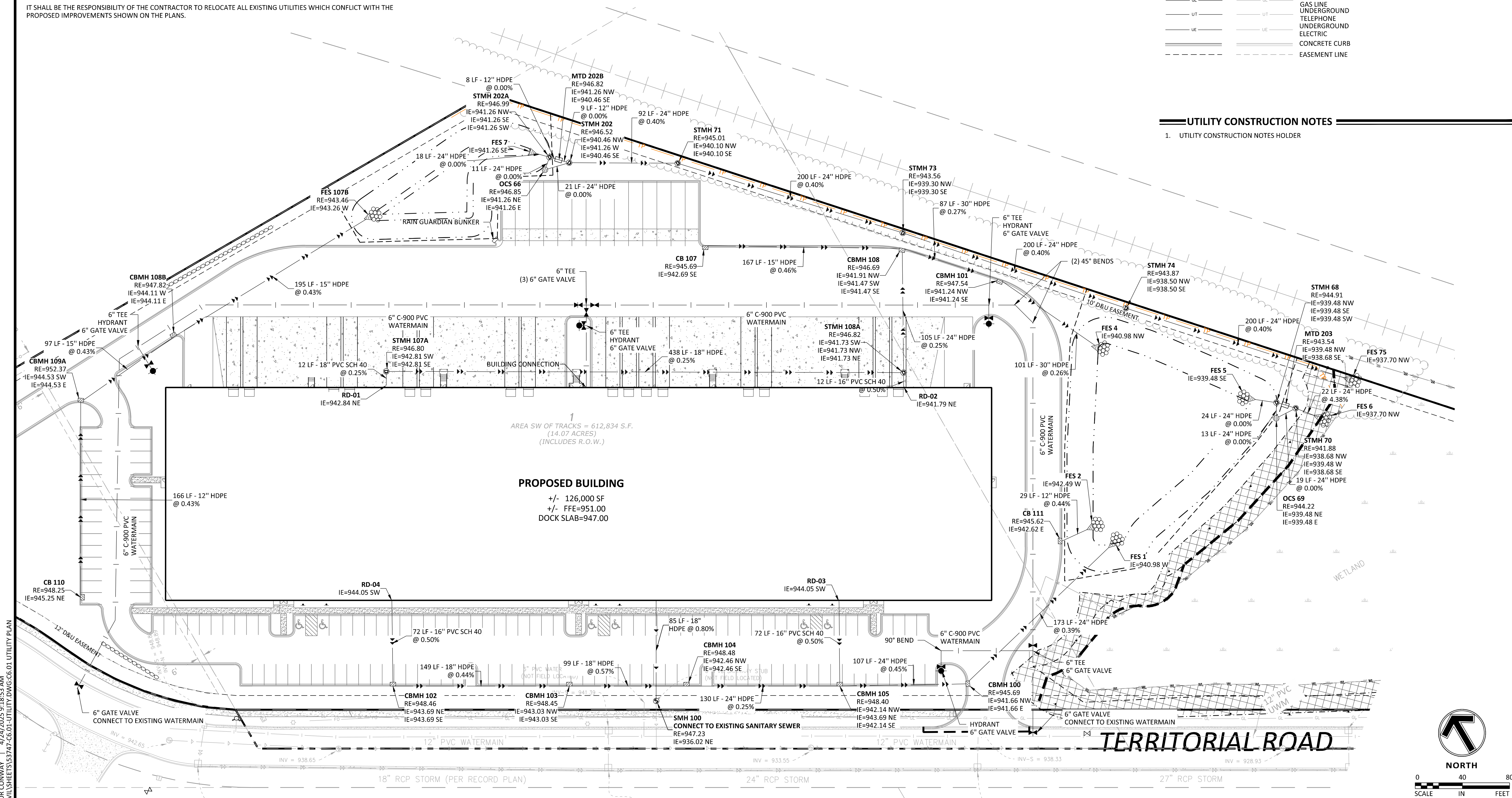
7 OF 28

REV.

IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.



1. UTILITY CONSTRUCTION NOTES HOLDER

[illegible]

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Print Name: ERIK W. MILLER, PE

Date _____ License # 41326

PRELIMINARY

DESIGN REVIEW

PERMIT SUBMITTAL

CONSTRUCTION DOCUMENTS

DRAWN BY CDC
DESIGNED BY TC
CHECKED BY TC
PROJECT NO. 53747

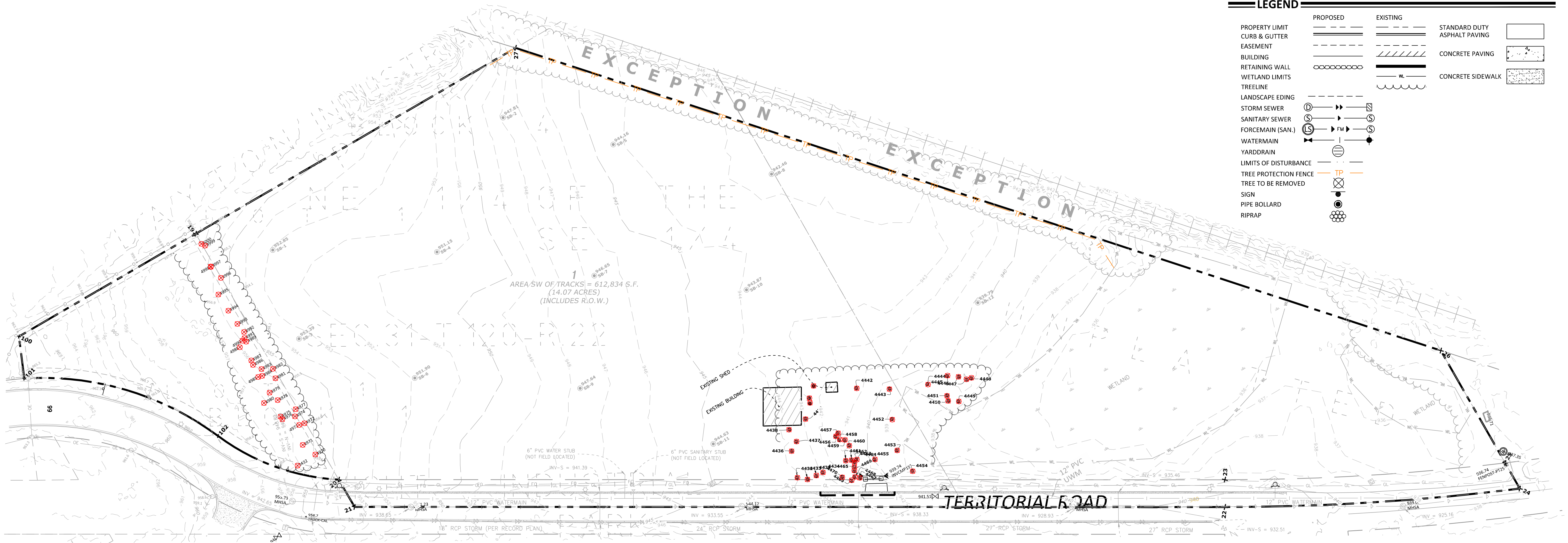


UTILITY PLAN

SCANNELL PROPERTIES
DAYTON INTERCHANGE BUSINESS CENTER
PERMIT SUBMITTAL
DAYTON, MN

SHEET
C6.01
17 OF 28
REV.

24.15 (LWS TECH) | TREVOR CONWAY | 5/1/2025 10:43:47 AM
L:\PROJECTS\53747\CAD\CIVIL\SHEETS\53747-10.01-TREE.DWG 10.01 TREE PRESERVATION PLAN



TREE PRESERVATION CALCULATIONS

DEVELOPMENT IN NON-RESIDENTIAL DISTRICTS MAY REMOVE UP TO 60% OF TOTAL INCHES OF SIGNIFICANT TREES DBH. ANY REMOVAL OR DISTURBANCE BEYOND SHALL REQUIRE REFORESTATION. SIGNIFICANT TREES REMOVED FOR WATER QUALITY TREATMENT PONDS, PUBLIC TRAILS, SIDEWALKS, AND COLLECTOR OR ARTERIAL ROADS ARE EXEMPT FROM THE REMOVAL THRESHOLD CALCULATION.

- TOTAL INCHES OF SIGNIFICANT TREES RECORDED: 1,112 INCHES
- ALLOWABLE TREES REMOVED (60% DBH): 667 INCHES
- INCHES REMOVED BEYOND THRESHOLD: 445 INCHES

FOR EACH INCH THAT IS REMOVED OR DISTURBED BEYOND THE THRESHOLD, THE SUBDIVIDER SHALL REPLANT 1 INCH OF NEW TREES.

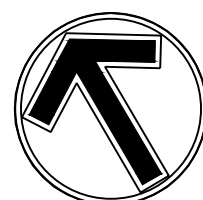
- REPLACEABLE TREE INCHES REQUIRED (DBH): 445 INCHES
- MINIMUM TREE SIZE REQUIRED: 2.5"
- **NUMBER OF TREES TO BE REPLANTED: 178 TREES AT MINIMUM 2.5" CAL.**
- **NUMBER OF PROPOSED REPLACEMENT TREES: 45 TREES**
- **FEE IN LIEU OF REPLACEMENT TREES (\$125 PER INCH * 333 INCHES): \$41,625**

TREE INVENTORY

Tree Number	Size	Tree Name	Classification
4432	20	Poplar - White (Populus alba)	Common
4433	21	Poplar - White (Populus alba)	Common
4434	48	Poplar - White (Populus alba)	Common
4435	20'	Cedar - Eastern Red (Juniperus virginiana)	Evergreen
4436	18	Poplar - White (Populus alba)	Common
4437	38	Box Elder (Acer negundo)	Common
4438	13	Elm - American (Ulmus americana)	Common
4439	28	Poplar - White (Populus alba)	Common
4440	15	Poplar - White (Populus alba)	Common
4441	14	Poplar - White (Populus alba)	Common
4442	16	Box Elder (Acer negundo)	Common
4443	19	Box Elder (Acer negundo)	Common
4444	17	Box Elder (Acer negundo)	Common
4445	14	Box Elder (Acer negundo)	Common-Exempt
4446	15	Box Elder (Acer negundo)	Common-Exempt
4447	14	Box Elder (Acer negundo)	Common-Exempt
4448	13	Box Elder (Acer negundo)	Common-Exempt
4449	13	Box Elder (Acer negundo)	Common
4450	13	Box Elder (Acer negundo)	Common
4451	14	Box Elder (Acer negundo)	Common
4452	14	Box Elder (Acer negundo)	Common
4453	12	Box Elder (Acer negundo)	Common
4454	13	Box Elder (Acer negundo)	Common
4455	14	Poplar - White (Populus alba)	Common

4456	22	Poplar - White (Populus alba)	Common
4457	21	Poplar - White (Populus alba)	Common
4458	20	Poplar - White (Populus alba)	Common
4459	14	Poplar - White (Populus alba)	Common
4460	13	Poplar - White (Populus alba)	Common
4461	16	Poplar - White (Populus alba)	Common
4462	13	Poplar - White (Populus alba)	Common
4463	13	Poplar - White (Populus alba)	Common
4464	13	Poplar - White (Populus alba)	Common
4465	14	Poplar - White (Populus alba)	Common
4466	13	Poplar - White (Populus alba)	Common
4467	19	Poplar - White (Populus alba)	Common
4468	16	Poplar - White (Populus alba)	Common
4469	13	Poplar - White (Populus alba)	Common
4470	17	Poplar - White (Populus alba)	Common
4970	14	Ash - Green (Fraxinus pennsylvanica)	Hardwood
4971	15	Hackberry (Celtis occidentalis)	Hardwood
4972	14	Ash - Green (Fraxinus pennsylvanica)	Hardwood
4973	16	Box Elder (Acer negundo)	Common
4974	12	Ash - Green (Fraxinus pennsylvanica)	Hardwood
4975	13	Ash - Green (Fraxinus pennsylvanica)	Hardwood
4976	14	Ash - Green (Fraxinus pennsylvanica)	Hardwood
4977	12	Ash - Green (Fraxinus pennsylvanica)	Hardwood
4978	22	Basswood (Tilia americana)	Hardwood
4979	13	Ash - Green (Fraxinus pennsylvanica)	Hardwood
4980	19	Box Elder (Acer negundo)	Common

4981	13	Hackberry (Celtis occidentalis)	Hardwood
4982	13	Ash - Green (Fraxinus pennsylvanica)	Hardwood
4983	15	Ash - Green (Fraxinus pennsylvanica)	Hardwood
4984	13	Box Elder (Acer negundo)	Common
4985	13	Box Elder (Acer negundo)	Common
4986	14	Box Elder (Acer negundo)	Common
4987	12	Ash - Green (Fraxinus pennsylvanica)	Hardwood
4988	14	Ash - Green (Fraxinus pennsylvanica)	Hardwood
4989	14	Box Elder (Acer negundo)	Common
4990	12	Ash - Green (Fraxinus pennsylvanica)	Hardwood
4991	15	Elm - American (Ulmus americana)	Common
4992	12	Ash - Green (Fraxinus pennsylvanica)	Hardwood
4993	13	Ash - Green (Fraxinus pennsylvanica)	Hardwood
4994	15	Ash - Green (Fraxinus pennsylvanica)	Hardwood
4995	12	Ash - Green (Fraxinus pennsylvanica)	Hardwood
4996	15	Oak - White (Quercus alba)	Hardwood
4997	18	Box Elder (Acer negundo)	Common
4998	13	Elm - American (Ulmus americana)	Common
4999	10	Oak - White (Quercus alba)	Hardwood
5000	13	Box Elder (Acer negundo)	Common
2432	13	Elm - American (Ulmus americana)	Common



NORTH
0 60 120
SCALE IN FEET

NO	DATE	BY	CKD	APPR	COMMENT

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Print Name: _____

Date _____ License # _____

PRELIMINARY

DESIGN REVIEW

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CONSTRUCTION DOCUMENTS

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DESIGNED BY

CHECKED BY

PROJECT NO.
53747



TREE PRESERVATION PLAN

SCANNELL PROPERTIES
DAYTON INTERCHANGE BUSINESS CENTER
PERMIT SUBMITTAL
DAYTON, MN













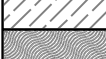


SHEET

L0.01

25 OF 28

REV.

PLANT SCHEDULE

PLANT SCHEDULE						
SYMBOL	CODE	BOTANICAL / COMMON NAME	CONT	SIZE	SIZE	QTY
TREES						
	AB	Acer freemanii 'Autumn Blaze' / Autumn Blaze Maple	B & B	2.5"Cal		11
	RB	Betula nigra 'Cully' TM / Heritage Birch	B & B	2.5"Cal		17
	IH	Gleditsia triacanthos 'Imperial' / Imperial Honeylocust	B & B	2.5"Cal		16
	QA	Populus tremuloides / Quaking Aspen	B & B	2.5"Cal		9
	SO	Quercus bicolor / Swamp White Oak	B & B	2.5"Cal		11
	RP	Quercus robur x warei 'Long' / Regal Prince Oak	B & B	2.5"Cal		19
	PE	Ulmus americana 'Princeton' / American Elm	B & B	2.5"Cal		8
CONIFERS						
	BF	Abies balsamea / Balsam Fir	B & B		6'	15
	NS	Picea abies / Norway Spruce	B & B		6'	12
	BS	Picea glauca densata / Black Hills Spruce	B & B		6'	9
	WP	Pinus strobus / White Pine	B & B		6'	10
SYMBOL	CODE	BOTANICAL / COMMON NAME	CONT			
GROUND COVERS						
	SB	MNDOT Seed Mix Southern Boulevard / Formerly MNDOT seed mix 25-131	Seed			
	SSR	MNDOT Seed Mix Southern Shortgrass Roadside / Formerly MNDOT Seed Mix 35-221/36-211	Seed			
	WD	MNDOT Seed Mix Wet Ditch / Formerly MNDOT Seed Mix 33-261	Seed			
	TUR HIG	Turf Sod Highland Sod / Sod	Sod			

DAYTON LANDSCAPE CODE

BUILDING GROUND COVER: A MINIMUM 5-FOOT STRIP FROM THE BUILDING EDGE MUST BE TREATED WITH DECORATIVE GROUND COVER AND/OR FOUNDATION PLANTINGS, EXCEPT FOR GARAGE/LOADING AREAS AND PEDESTRIAN ACCESS AREAS.

CALCULATIONS	REQUIRED	PROPOSED
LANDSCAPE AREA FOR I-1 (25%):		
TOTAL SITE AREA (612,834 SF) - WETLANDS 1 & 2 (72,350 SF) +		
WETLAND IMPACT AREA (4,531 SF) = 545,015 SF NET AREA	136,253 SF	198,231 SF
INTERNAL PARKING LOT LANDSCAPE (3%) 47,476 SF	1,425 SF	XXX SF

CALCULATIONS (136,253 SF OF REQUIRED LAND AREA) PICK 3	REQUIRED	PROPOSED
ONE OVERSTORY TREE PER 3,000 SF OF LAND AREA	46	46
ONE CONIFEROUS TREE PER 3,000 SF OF LAND AREA	46	46
ONE ORNAMENTAL TREE PER 1,500 SF OF LAND AREA	92	0*
ONE SHRUB PER 100 SF OF LAND AREA	1,362	1,362

PARKING LOT TREES: 146 PARKING STALLS
ONE OVERSTORY TREE PER 10 PARKING STALLS. 15 15**

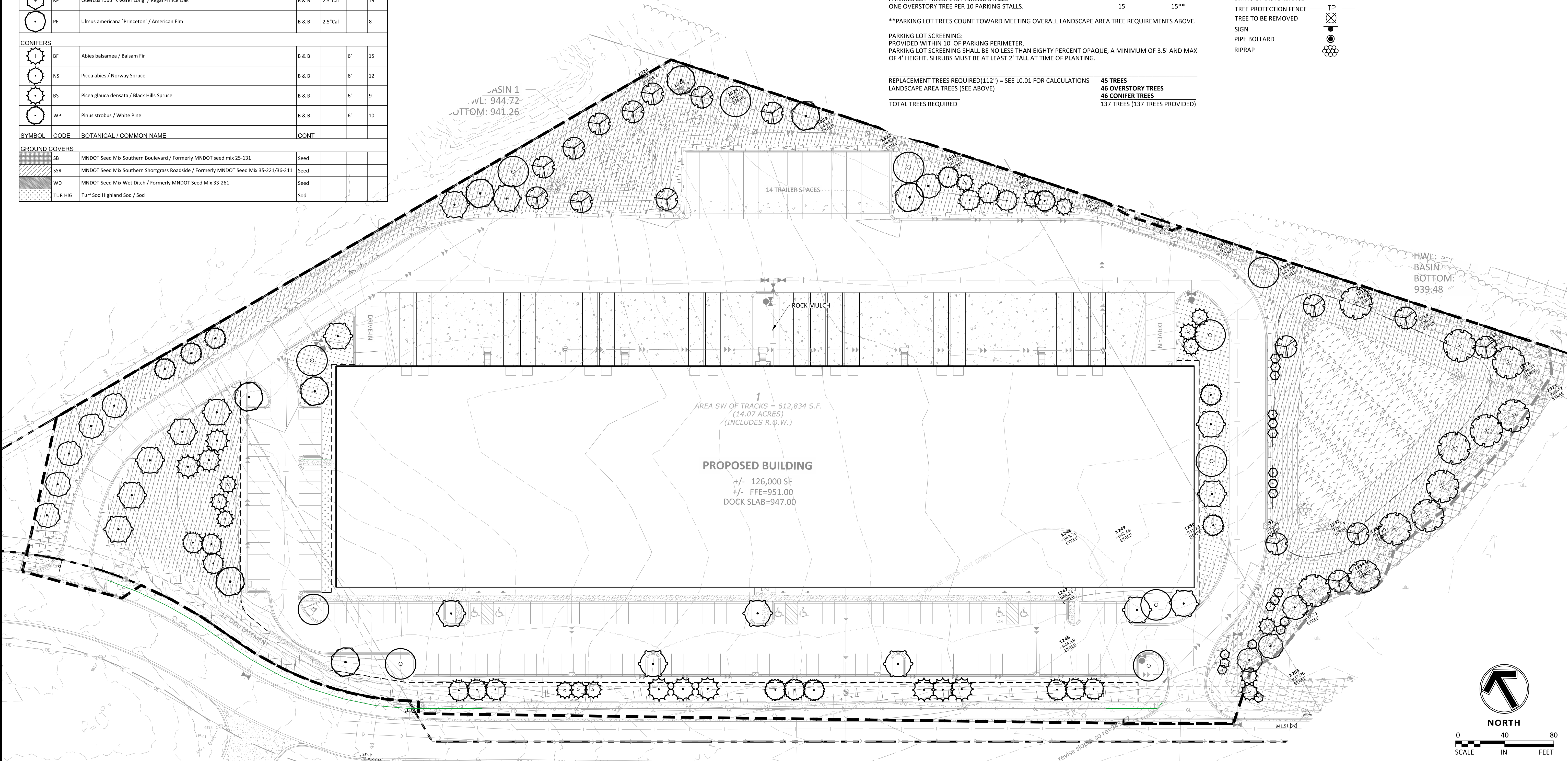
**PARKING LOT TREES COUNT TOWARD MEETING OVERALL LANDSCAPE AREA TREE REQUIREMENTS ABOVE.

PARKING LOT SCREENING:
PROVIDED WITHIN 10' OF PARKING PERIMETER,
PARKING LOT SCREENING SHALL BE NO LESS THAN EIGHTY PERCENT OPAQUE, A MINIMUM OF 3.5' AND MAX
OF 4' HEIGHT. SHRUBS MUST BE AT LEAST 2' TALL AT TIME OF PLANTING.

REPLACEMENT TREES REQUIRED(112") = SEE L0.01 FOR CALCULATIONS	45 TREES
LANDSCAPE AREA TREES (SEE ABOVE)	46 OVERSTORY TREES
	46 CONIFER TREES
TOTAL TREES REQUIRED	137 TREES (137 TREES PROVIDED)

LEGEND

	PROPOSED	EXISTING	
PROPERTY LIMIT			STANDARD DUTY ASPHALT PAVING
CURB & GUTTER			CONCRETE PAVING
EASEMENT			CONCRETE SIDEWALK
BUILDING			
RETAINING WALL			
WETLAND LIMITS			
TREELINE			
LANDSCAPE EDGING			
STORM SEWER			
SANITARY SEWER			
FORCEMAIN (SAN.)			
WATERMAIN			
YARDDRAIN			
LIMITS OF DISTURBANCE			
TREE PROTECTION FENCE			
TREE TO BE REMOVED			
SIGN			
PIPE BOLLARD			
RIPRAP			



NO	DATE	BY	CKD	APPR	COMMENT

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly licensed Landscape Architect under the laws of the State of Minnesota.

Print Name: _____

Date _____ License # _____

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DESIGNED BY
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TREE AND GROUNDCOVER PLANTING PLAN

SCANNELL PROPERTIES
DAYTON INTERCHANGE BUSINESS CENTER
PERMIT SUBMITTAL
DAYTON, MN

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L1.01

26 OF 28

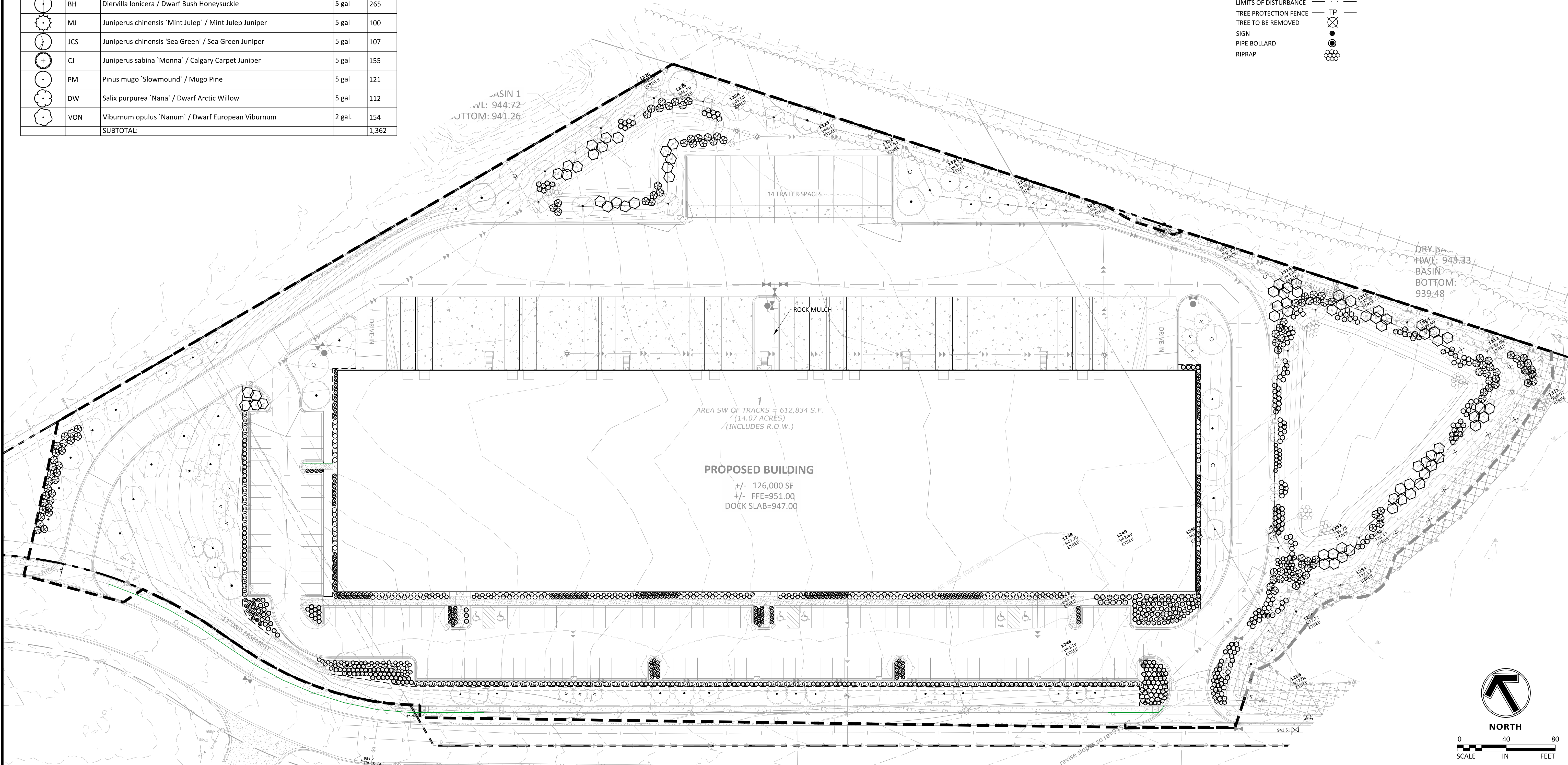
REV.

PLANT SCHEDULE

PLANT SCHEDULE				
SYMBOL	CODE	BOTANICAL / COMMON NAME	CONT	QTY
SHRUBS				
	BC	Aronia melanocarpa 'Autumn Magic' / Autumn Magic Black Chokeberry	5 gal	113
	CR	Clethra alnifolia 'Ruby Spice' / Ruby Spice Clethra	5 gal	35
	YD	Cornus alba 'Bud's Yellow' / Bud's Yellow Dogwood	5 gal	115
	RD	Cornus baileyi / Bailey's Red-twig Dogwood	5 gal	74
	CD	Cornus sericea 'Alleman's Compact' / Dwarf Red Twig Dogwood	5 gal	11
	BH	Diervilla lonicera / Dwarf Bush Honeysuckle	5 gal	265
	MJ	Juniperus chinensis 'Mint Julep' / Mint Julep Juniper	5 gal	100
	JCS	Juniperus chinensis 'Sea Green' / Sea Green Juniper	5 gal	107
	CJ	Juniperus sabina 'Monna' / Calgary Carpet Juniper	5 gal	155
	PM	Pinus mugo 'Slowmound' / Mugo Pine	5 gal	121
	DW	Salix purpurea 'Nana' / Dwarf Arctic Willow	5 gal	112
	VON	Viburnum opulus 'Nanum' / Dwarf European Viburnum	2 gal.	154
		SUBTOTAL:		1,362

LEGEND

PROPERTY LIMIT	PROPOSED	EXISTING	STANDARD DUTY ASPHALT PAVING
CURB & GUTTER			
EASEMENT			CONCRETE PAVING
BUILDING			CONCRETE SIDEWALK
RETAINING WALL			
WETLAND LIMITS			
TREELINE			
LANDSCAPE EDING			
STORM SEWER			
SANITARY SEWER			
FORCEMAIN (SAN.)			
WATERMAIN			
YARDDRAIN			
LIMITS OF DISTURBANCE			
TREE PROTECTION FENCE			
TREE TO BE REMOVED			
SIGN			
PIPE BOLLARD			
RIPRAP			



NO	DATE	BY	CKD	APPR	COMMENT

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SHRUB PLANTING PLAN

SCANNELL PROPERTIES

DAYTON INTERCHANGE BUSINESS CENTER

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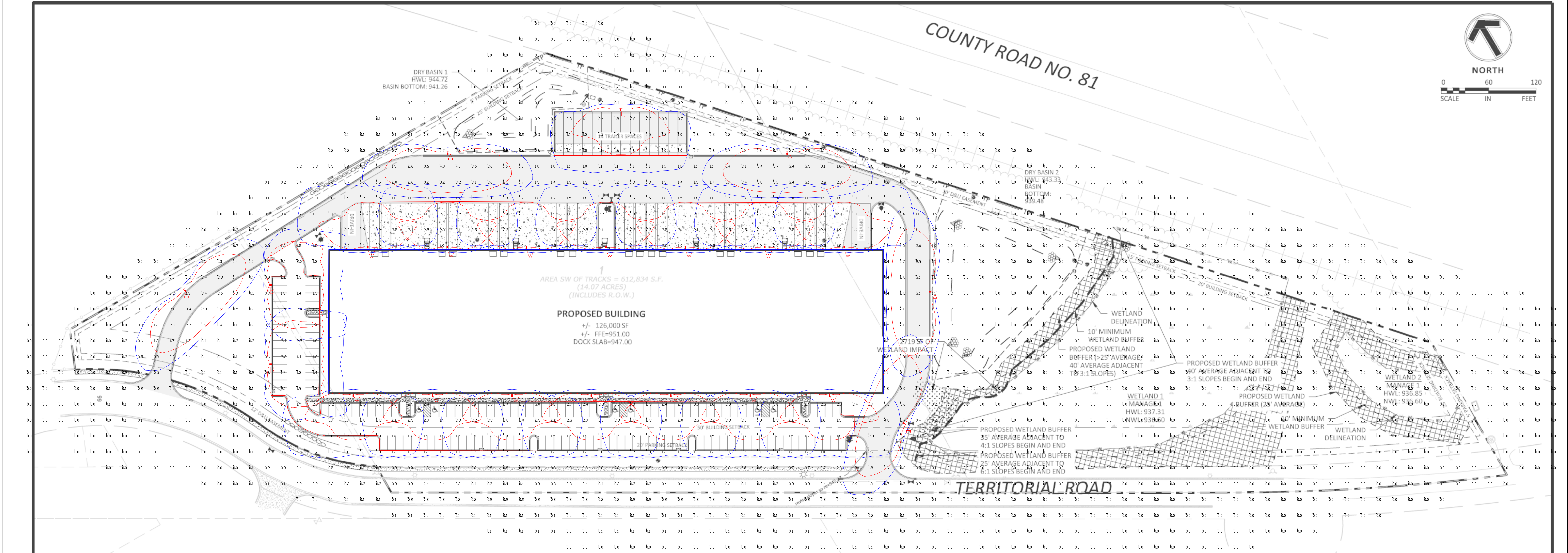
DAYTON, MN

SHEET

L1.02

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REV.



VALS

Calculation Summary								
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min	Grid_Z
ALL CALCS AT GRADE	Illuminance	Fc	0.55	4.0	0.0	N.A.	N.A.	0
CAR PARKING AREAS	Illuminance	Fc	1.92	3.2	1.1	1.75	2.91	
TRAILER SPACES	Illuminance	Fc	1.33	2.4	0.7	1.90	3.43	
TRUCK LOADING AREA	Illuminance	Fc	2.08	2.6	1.1	1.89	2.36	





PHOTOMETRIC EVALUATION
NOT FOR CONSTRUCTION

Based on the information provided, all dimensions and luminaire locations shown represent recommended positions. The engineer and/or architect must determine the applicability of the layout to existing or future field conditions.

This lighting plan represents illumination levels calculated from laboratory data taken under controlled conditions in accordance with The Illuminating Engineering Society (IES) approved methods. Actual performance of any manufacturer's luminaires may vary due to changes in electrical voltage, tolerance in lamps/LED's and other variable field conditions. Calculations do not include obstructions such as buildings, curbs, landscaping, or any other architectural elements unless noted. Fixture nomenclature noted does not include mounting hardware or poles. This drawing is for photometric evaluation purposes only and should not be used as a construction document or as a final document for ordering product.

The IES no longer uses the Cutoff Classification System for LED Fixtures. The IES classifies LED Fixtures with the BUG rating which refers to the Backlight-Uplight-Glare system. An Uplight of "U0" most closely matches the old Full Cutoff rating.

Dimensions of drawings that have been scaled or converted from PDF files or scanned /submitted images are approximate.

Luminaire Schedule									
Symbol	Qty	Label	Arrangement	Description	Mounting Height	LLF	Arr. Lum. Lumens	Arr. Watts	BUG Rating
	5	A	Single	VALS-27L-2-50K7	30'	0.940	25292	178	B3-U0-G5
	2	B	Single	VALS-27L-4F-50K7	30'	0.940	23317	178	B2-U0-G5
	1	C	Single	VALS-27L-4W-50K7	30'	0.940	21361	178	B2-U0-G5
	14	W	Single	VALS-27L-4W-50K7	30'	0.940	21361	178	B2-U0-G5

Total Project Watts_1
Total Watts = 3916



LIGHTING PROPOSAL LO-162487

DAYTON INTERCHANGE BUSINESS CENTER
COUNTY ROAD NO 81
DAYTON, MN

BY:RNC DATE:05/06/25 REV: SHEET 1 OF 1

SCALE: 1"=60'

0 60

GENERAL PROJECT NOTES

1. OWNER FURNISHED EQUIPMENT SUPPLIERS ARE TO COORDINATE FINAL LOCATION OF EQUIPMENT AND INSTALLATION WITH THE OWNER.
2. ELECTRICAL CONTRACTOR & CABLE CONTRACTOR ARE RESPONSIBLE FOR REPAIRING ANY DAMAGE CAUSED TO WALLS, FINISHES, CEILINGS ETC. IN THE COURSE OF THEIR CONSTRUCTION. IF CONTRACTORS BEGIN WORK IN AN AREA WITH EXISTING DAMAGE THEY ARE TO IMMEDIATELY NOTIFY THE OWNER OR ASSUME RESPONSIBILITY OF SUCH DAMAGE.

FLOOR PLAN KEYNOTES

TAG	KEYNOTE
1	-
2	-

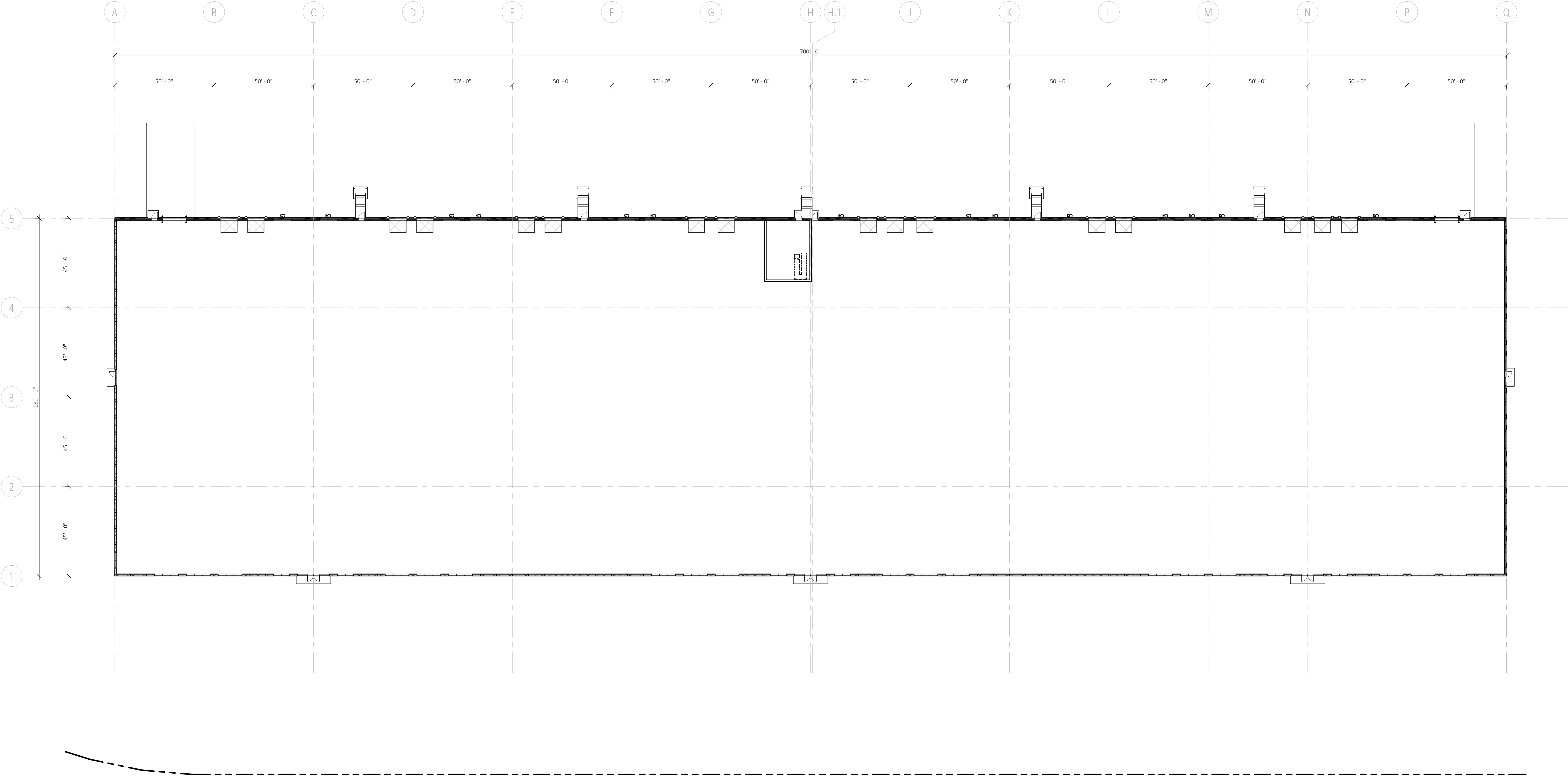


1000 Twelve Oaks Center Drive
Suite 200, Wayzata, MN 55391
T: 952-426-7400
F: 952-426-7440

MohagenHansen.com

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DAYTON 125,000

DAYTON INTERCHANGE
BC
HOLLY LANE AND
TERRITORIAL ROAD
DAYTON, MN 55445

NO.	DESCRIPTION	DATE
	CONSTRUCTION DOCUMENTS	XXXXXX XX

PROJECT NUMBER: 21315
DRAWN BY: C.ALLEN
CHECKED BY: S.PAETZEL
DATE: XXXXXXXX

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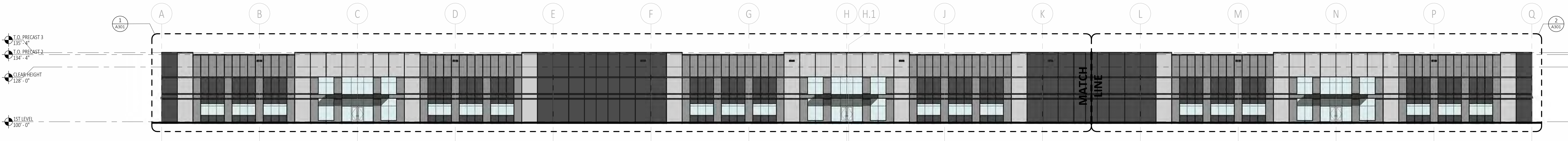
SHELL PLAN -
OVERALL



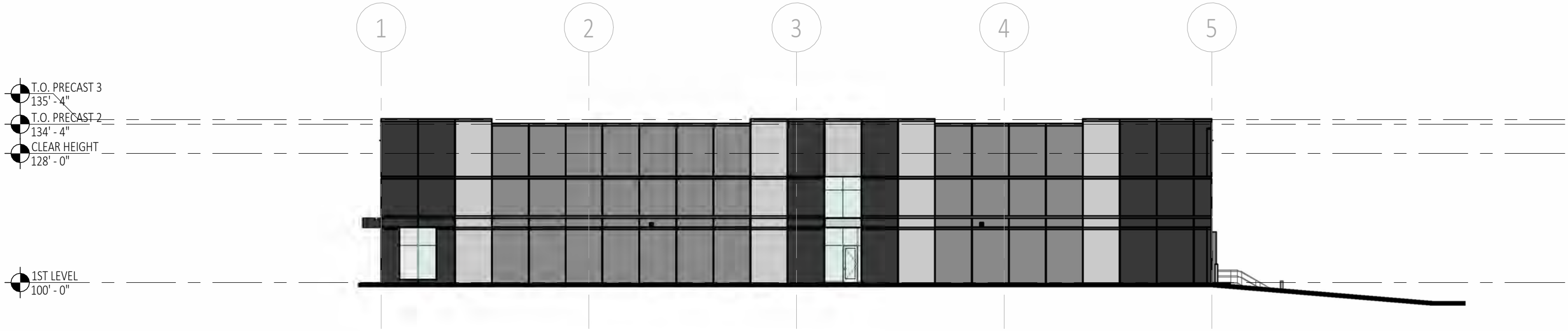
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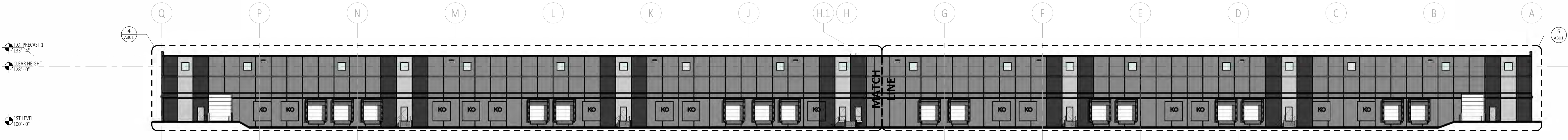
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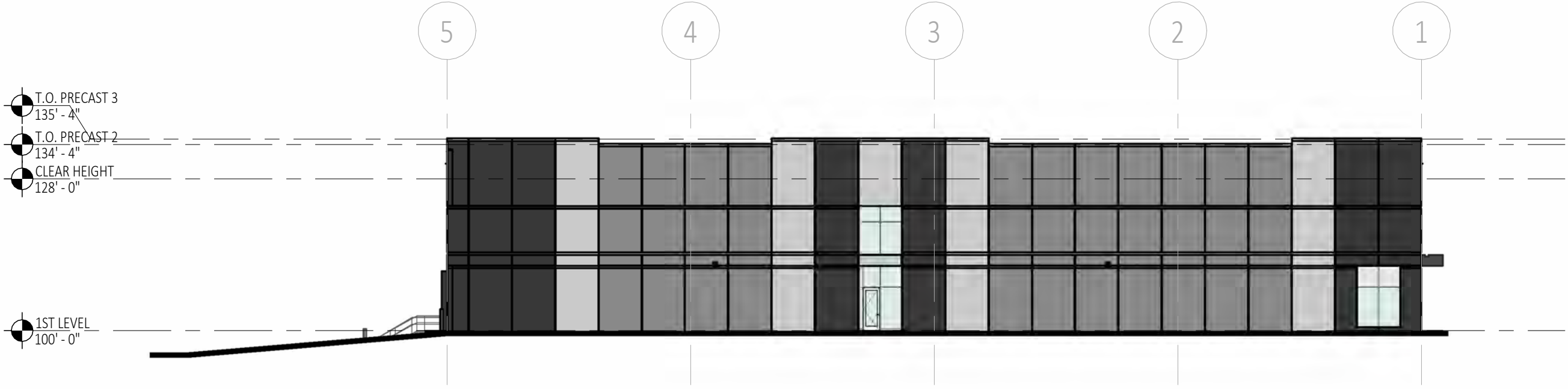
1 ELEVATION - SOUTH - OVERALL
A300 3/64" = 1'-0"



2 ELEVATION - EAST - OVERALL
A300 3/64" = 1'-0"



3 ELEVATION - NORTH - OVERALL
A300 3/64" = 1'-0"



4 ELEVATION - WEST - OVERALL
A300 3/64" = 1'-0"

EXTERIOR MATERIALS LEGEND

- IMP-1 2-1/2" THICK METL SPAN STRIATED INSULATED METAL PANEL OR APPROVED EQUAL
COLOR: REGAL GRAY
- IMP-2 2-1/2" THICK METL SPAN STRIATED INSULATED METAL PANEL OR APPROVED EQUAL
COLOR: CHARCOAL GRAY
- IMP-3 2-1/2" THICK R-20 MINIMUM 7.2 RIBBED METL SPAN METAL PANELS OR EQUAL
COLOR: SLATE
- MTL-1 PREFINISHED METAL TRIM
COLOR: POLAR WHITE
- MTL-2 ACM METAL TRIM
COLOR: TEAL
- EFS-1 DRYVIT ACRYLIC-BASED CUSTOM BRICK FINISH
COLOR: PASTEL PINK
- P-1 COLOR TO MATCH IMP-1; SEND SAMPLE TO ARCHITECT FOR APPROVAL

EXTERIOR FINISH SCHEDULE

TAG	NOTES	SAMPLE
ALUMINUM COMPOSITE MATERIAL		
ACM-1	MANUFACTURER: - COLOR: - SIZE: AS INDICATED ON ELEVATIONS	
EXTERIOR PAINT ON PRECAST CONCRETE		
PCP-1	MANUFACTURER: SHERWIN-WILLIAMS COLOR: SW7065 ARGOS	
METAL		
MTL-1	MANUFACTURER: - COLOR: -	

DAYTON 125,000

DAYTON INTERCHANGE
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HOLLY LANE AND
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DAYTON, MN 55445

NO.	DESCRIPTION	DATE
	CONSTRUCTION DOCUMENTS	XXXXXX XX

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DATE: XXXX/XXXX/XXXX
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EXTERIOR
BUILDING
ELEVATIONS -
OVERALL

A300



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DRAWN BY: C.ALLEN

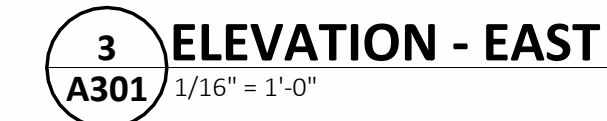
CHECKED BY: S.PAETZEL

DATE: XXXXX/XXXX

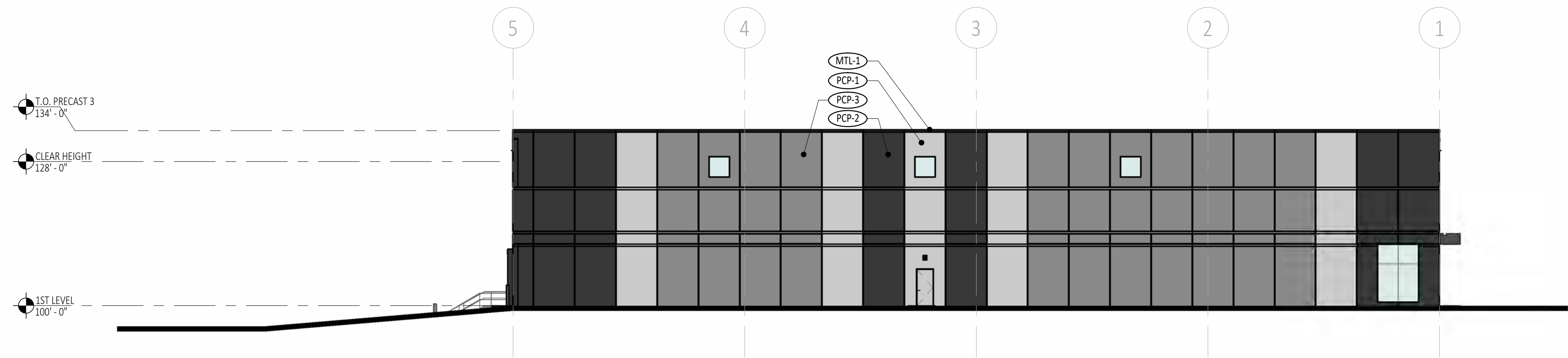
COMPUTER DIRECTORY:

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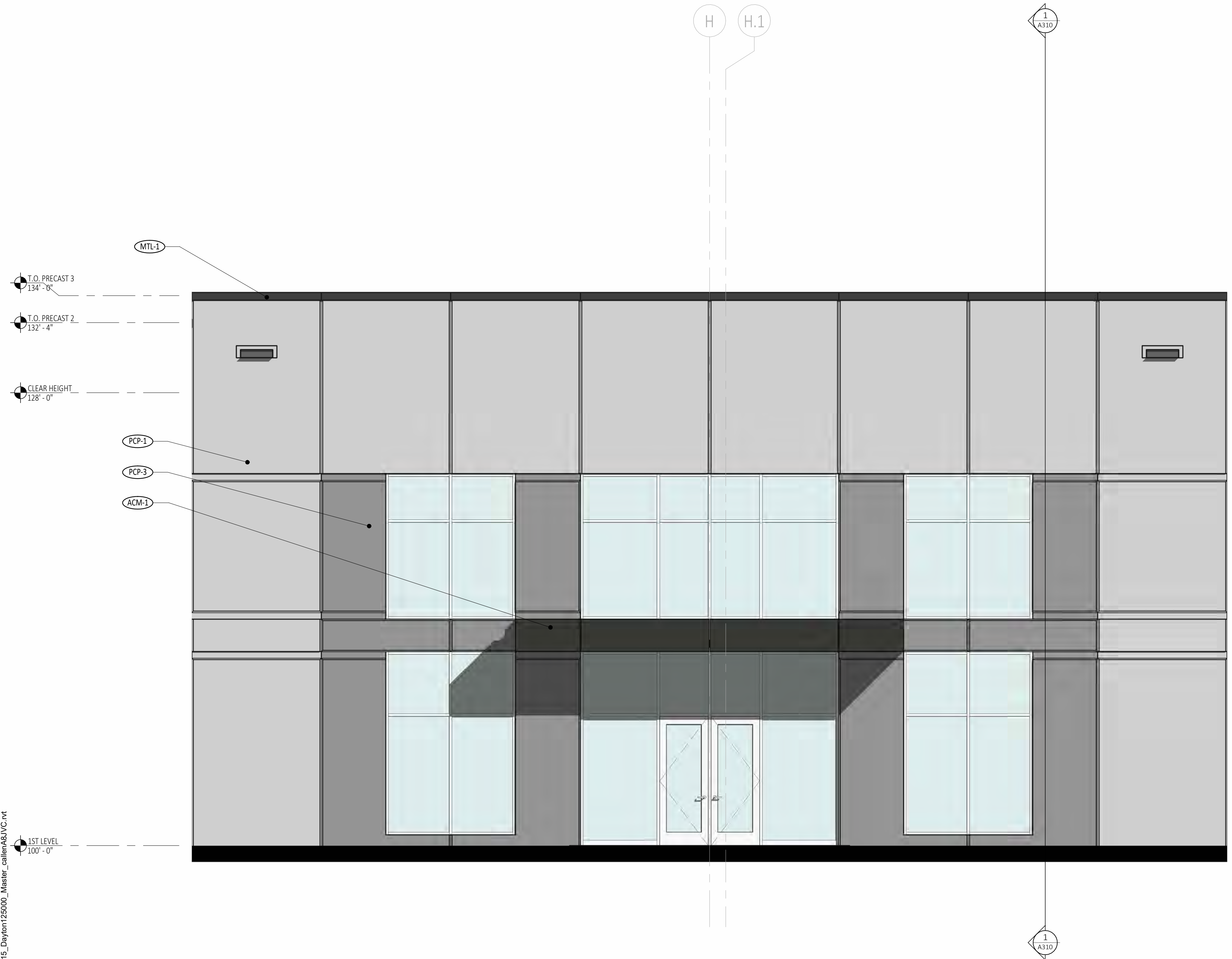
A301



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1
A302 ELEVATION - WEST
1/16" = 1'-0"



2
A302 ELEVATION - MAIN ENTRY
1/4" = 1'-0"

EXTERIOR MATERIALS LEGEND

- PCP-1** INSULATED PRE-CAST PANEL
COMPANY: FABCON.
FINISH: STEEL FORM FINISH PRECAST PANEL - PAINTED.
COLOR: FRENCH GREY (TBD).
- PCP-2** INSULATED PRE-CAST PANEL
COMPANY: FABCON.
FINISH: STEEL FORM FINISH PRECAST PANEL - PAINTED.
COLOR: CHARCOAL GREY (TBD).
- PCP-3** INSULATED PRE-CAST PANEL
COMPANY: FABCON.
FINISH: STEEL FORM FINISH PRECAST PANEL - PAINTED.
COLOR: MEDIUM GREY (TBD).
- MTL-1** PRE-FINISHED METAL COPING AND TRIM
COMPANY: FIRESTONE.
FINISH: UNICLAD.
COLOR: MATTIE BLACK.
- ACM-1** PRE-FINISHED ALUMINUM COMPOSITE METAL PANEL
COMPANY: ALUCOROND OR EQ.
COLOR: DEEP BLACK.
- ACM-2** PRE-FINISHED ALUMINUM COMPOSITE METAL PANEL
COMPANY: ALUCOROND OR EQ.
COLOR: FRENCH GREY.
- P-1** PAINT
COMPANY: SHERWIN-WILLIAMS OR EQ.
COLOR: TO MATCH PAINT PCP-1 PAINT COLOR.
- P-2** PAINT
COMPANY: SHERWIN-WILLIAMS OR EQ.
COLOR: TO MATCH PAINT PCP-2 PAINT COLOR.
- P-3** PAINT
COMPANY: SHERWIN-WILLIAMS OR EQ.
COLOR: TO MATCH PAINT PCP-3 PAINT COLOR.

- NOTES:
- ALUMINUM STOREFRONT FRAMES/ MULLIONS: BLACK ANODIZED ALUMINUM.
 - GLAZING: CLEAR OR GREY TINT W/ LOW E.
 - PRECAST OPENING AT STOREFRONT: PAINT TO MATCH CLOSEST ADJACENT MATERIAL: EITHER PRECAST FACE, MTL OR ACM.
 - OVERHEAD DOCK DOORS: PRE-FINISHED WHITE.
 - PRECAST OPENING AT OVERHEAD DOCK DOORS: PAINT TO MATCH CLOSEST ADJACENT PRECAST FACE.
 - HMI DOORS: ALL DOORS TO BE PAINTED P-1, U.N.D.
 - CANOPY SOFFIT: ACM-1.
 - BOLLARDS: PAINTED: "DASHA YELLOW".
 - SIGNAGE: BACKLIT SIGNAGE BY TENANT PERMIT.
 - SAMPLES: PROVIDE SAMPLES FOR CLIENT AND ARCHITECT TO REVIEW BEFORE CONSTRUCTION.
 - MOCK-UP: PROVIDE MOCK-UP OF EACH PAINT COLOR FOR CLIENT AND ARCHITECT TO REVIEW ONSITE.

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MohagenHansen.com

NOT FOR
CONSTRUCTION

THE ARCHITECT SHALL BE DEEMED THE AUTHORS AND OWNERS OF THEIR RESPECTIVE INSTRUMENTS OF SERVICE AND SHALL RETAIN ALL COMMON LAW, STATUTORY AND OTHER RESERVED RIGHTS, INCLUDING COPYRIGHTS OF THE ATTACHED DOCUMENTS.

DAYTON 125,000

DAYTON INTERCHANGE
BC
HOLLY LANE AND
TERRITORIAL ROAD
DAYTON, MN 55445

NO.	DESCRIPTION	DATE
	CITY SUBMITTAL	03/16/2023
	EXTERIOR ELEVATION FINISHES	05/16/2023

PROJECT NUMBER: 21315
DRAWN BY: C.ALLEN
CHECKED BY: S.PAETZEL
DATE: 05/16/2023

COMPUTER DIRECTORY:
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EXTERIOR
BUILDING
ELEVATIONS -
ENLARGED

A302